

This is a visual only Building Inspection & Report
Defect REPORT (hereinafter called the "Report")



ALL INSPECT
All Building & Termite Inspections

Report Number 12663B

Inspection Date: 24/09/2018

Property Address: Sample street



SERVICES

New Construction

Slab
Frame
Lock-Up
Handover
Warranty

ALLINSPECT
PO BOX 1104
Park Ridge QLD
Licence 535928
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ABN 66160880642

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Definitions to help you better understand this report

Terms on which this report was prepared

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

The Form/Server/Ref numbers below are for office use only)

Form: SPIR V3 – 1st September 2013 Server report no: Ref no:

Special conditions or instructions

The following apply: The inspector is not liable for the defects found or not found due to limitations, this is under the Builders Warranty for New Construction. Photos taken but not of all the defects found.

The parties

Report number:	12663B	
Name of Client:	Mr Sample	
Name of Supervisor	Phone	
Building company	Phone	
Address of Property:	Sample place	
Client's email:	sample@hotmail.com	
Client's telephone number:		
Inspector's name:	David Tacon	
Inspector's licence number	535928	
Inspector's number/email:	0421235310	Email: david@allinspect.com.au
Company name:	ALLINSPECT	
Company address and postcode:	PO BOX 1104 Park Ridge 4125	
Company email:	info@allinspect.com.au	
Company telephone number:	32970345	

Section A Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary. In respect of significant items:

Evidence of Serious Safety Hazards was not observed.

Evidence of Structural Defects was observed - see Section D, Items D2.

Evidence of Non-Structural Defects was observed - see Section D, Items D3.

The purpose of the inspection is to give advice regarding the condition of the property and site with a view to provide the builder with a list of items to be rectified to achieve Practical Completion of a new construction that are within the Australian Standards and the National Construction code and Standards and Tolerances.

In summary, the building is need of rectification to bring it up to a minimum standard for new construction and **has not reached Practical Completion Stage**. This is **below average standard** for new construction and will need a consider amount of rework to bring it up to a standard that is acceptable.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section F "Important Note".

Section B General

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

Schedule 1B of the Queensland Building and Construction Commission Act 1991 ('QBCC Act').

Practical completion' means the day when the subject work is completed –

- a) In compliance with the contract, including all plans and specifications for the work and all statutory requirements applying to the work; and
- b) Without any defects or omissions, other than minor defects or minor omissions that will not unreasonably affect occupation; and
- c) If the building owner claims there are minor defects or minor omissions- the building contractor gives the building owner a defects document for the minor defects

General description of the property

Residential building type:	Detached house.
Number of storeys:	Two storey.
Smoke detectors:	Smoke Detectors and Safety Switch
Safety Switch:	IMPORTANT NOTE The adequacy and testing of smoke detectors and safety switch is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.
Orientation (to establish the way the property was viewed):	The façade of the building faces east. Note. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Wet Rainy
Other:	

Primary method of construction

Main building – floor construction:	Slab-on-ground.
Main building – wall construction:	Brick Veneer, Timber Frame, Cladded, Render
Main building – roof construction:	Timber Frame Colorbond

Strata or company title properties

Not applicable.

Section C Accessibility

Areas inspected

The inspection covered the Readily Accessible Areas of the property

Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects. Areas, which are not normally accessible, were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

Obstructions

The following obstructions may conceal defects:

Built in furniture, wall linings/coverings, floor linings/coverings, ceiling linings/coverings.

Landscaping, Insulation, sarking, concrete paths/coverings, pipes, builders waste.

Inaccessible areas

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection.

Access to Building Sites.

Access to building sites Section 109 of the Queensland Building and Construction Commission Act 1991 The building contractor under a regulated contract must permit the building owner or a person authorised by the building owner to have reasonable access to the building site under the building contractors supervision to view any part of the subject work.

Section D Condition Report

The Builders Obligations as per contract

Builder's obligation 1.1 The builder must:

- (a) complete the **works** in accordance with this **contract**; and
- (b) comply with all laws and lawful requirements of any **statutory or other authority** with respect to the carrying out of the **works**.

Clause 36. Statutory warranties

Builder's warranties 36.1 To the extent required by the Queensland Building and Construction Commission Act 1991 (Qld), the **builder** warrants that:

- (a) all materials supplied by the **builder** will be good and, having regard to the relevant criteria, suitable for the purpose for which they are used and that, unless otherwise stated in this **contract**, those materials will be new;
- (b) the **works** will be carried out in accordance with all relevant laws and legal requirements, including, for example, the Building Act 1975 (Qld);
- (c) the **works** will be carried out in an appropriate and skilful way and with reasonable skill and care;
- (d) the **works** will be carried out in accordance with the plans and the specification to this **contract**;
- (e) the **works** will be carried out with reasonable diligence;
- (f) if the **works** consist of the erection or construction of a detached dwelling, or are intended to renovate, alter, extend, improve or repair a home, to a stage suitable for occupation, that the detached dwelling or home will be suitable for occupation when the **works** are finished; and
- (g) each provisional sum item allowance, if calculated by the **builder**, has been calculated with reasonable skill and care, having regard to all the information reasonably available when this **contract** is entered into (including information about the nature and location of the **site**).

Meaning of relevant criteria 36.2 The relevant criteria for materials for the purpose of Clause 36.1(a) means:

- (a) generally accepted practices or standards applied in the building industry for the materials; or
- (b) specifications, instructions or recommendations of manufacturers or suppliers of materials.



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Initials: E-H

Builder Copy

The Build has not reached Practical Completion and the Builder must set a new date for Practical completion as per contract once all these requirements set out in this report are met.

- Owner's notice* 25.4 If the **owner** believes that **practical completion** has not been reached the **owner** must, within 5 **working days** of receiving the **notice of practical completion**, give the **builder** a written notice stating:
- (a) the **owner's** requirements for the **works** to reach **practical completion**; and
 - (b) the provisions of this **contract** that relate to each requirement.
- Builder's response* 25.5 The **builder** must, on receiving the **owner's** notice, complete those requirements that, in the **builder's** opinion, are necessary to reach **practical completion**.
- Further notice by builder* 25.6 On completion of those requirements the **builder** must give a further **notice of practical completion** stating the new **date of practical completion**, and the **owner** must, within 5 **working days** of receipt pay the amount of the **final claim** to the **builder**.

Builder Copy

D2: Structural defects

D2.1

Where it is: External

What it is: Ground levels, surface water drainage inadequate can cause water to lay against the footings. This will need rework before this reaches practical completion as it is clearly ponding to the footings. As per the engineering.

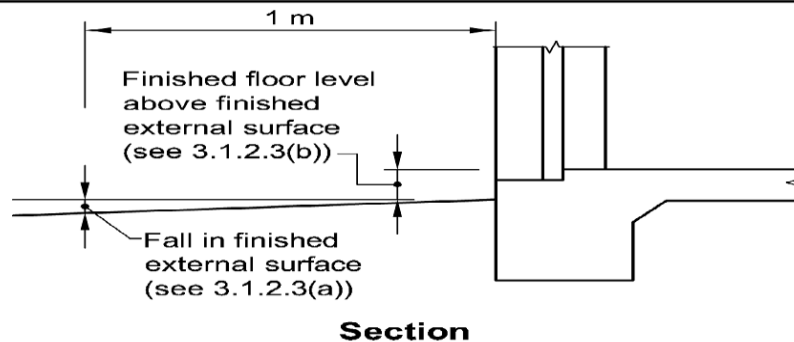
3.1.2.3 Surface water drainage

Surface water must be diverted away from Class 1 buildings as follows:

- (a) Slab-on-ground — finished ground level adjacent to buildings:
the external finished surface surrounding the slab must be drained to move *surface water* away from the building and graded to give a slope of not less than (see [Figure 3.1.2.2](#))—
 - (i) 25 mm over the first 1 m from the building in *low rainfall intensity areas* for surfaces that are reasonably impermeable (such as concrete or clay paving); or
 - (ii) 50 mm over the first 1 m from the building in any other case.

Figure 3.1.2.2

SITE SURFACE DRAINAGE



Drainage

The following recommendations are to be read in conjunction with the building designer's site plan.

The foundation material on this site is reactive to moisture variation, and it is critical that water does not pond near the house footings. Platform preparation, house construction and site finishing are to be carried out in accordance with the following guidelines.

The finished ground surface shall slope away from the house on all sides, with a fall of not less than 100 mm over the first 1500 mm from the house. Overland and high subsurface flow from the high side of the site and the surroundings shall be intercepted by a permanent surface drain at the toe of the cut face, with a fall of not less than 1 in 100 to a clear outlet.

The platform and finished surface shall be sloped to ensure that all roof water and surface runoff are discharged well clear of the house on the downhill side, in such a manner as to avoid concentrated flow across any site boundary.

Plumbing trenches shall be sloped away from the house and shall be backfilled with clay in the top 300 mm within 1500 mm of the house. Where pipes pass under the footing system the trench shall be backfilled with clay or concrete to prevent the ingress of water beneath the footings and slab. All plumbing works are to be carried out in accordance with AS3500 "National Plumbing and Drainage Code", council requirements, and normal good building practice.



D2.2

Where it is: External Walls

What it is: It was noted that the Articulation or Control Joints in the dwelling have non-compressive material (mortar) still in the joints and have been cover over. The AJ's must be stripped, cleaned of all non-compressive material and then sealed, they must go all the way through the window. We refer the builder to AS 4773.2, page 32, section 7.1, and the BCA. Failure to remove the hardened mortar will result in brick and mortar cracking if the dwelling needs to expand by its full measure. If the AJ's (CJ's) are blocked, the movement must dissipate elsewhere. Hence cracking occurs.

QBCC Standards & Tolerances .3.3 Articulation in masonry walls

Masonry work is defective if articulation and movement control joints have not been provided as required by Australian Standards AS2870, AS3700, or the contract. Articulation joints are defective if they do not comply with the following:

- be free of mortar
- be vertical and not toothed unless toothing is specifically considered in the design
- extend the full height of the masonry but may be omitted below the damp-proof course (DPC) if there is not more than 600 mm of masonry below the DPC at the position of the joint
- the material used to fill the joint must be of a type that does not inhibit the performance of the joint
- be sealed with a suitable flexible sealant to match the colour of the adjacent masonry.

AS 3700-12.4.3 – Masonry Structures and AS 4773-7.1 – Masonry for Small Buildings, respectively state *'Expansion joints (closing control joints) and articulation joints shall be clean and free from any hard or incompressible material for the full width and depth of the joint before joint-filling material (if any) is inserted'* and *'A control joint placed at an opening shall provide sufficient clearance to door and window frames to accommodate any movement within the control joint space and remain weatherproof'*.



D2.3

Where it is: External Roof

What it is: Substandard installation of the flashing with gaps which will allow water ingress, mortar smears. This will need to be rectified. This is conditions conducive to structural damage.

QBCC Standards & Tolerances 6.1 Flashings and accessories

Completed flashings and accessories are defective if they leak under weather conditions anticipated by the BCA.

Inadequate construction of roof flashings such as cavity flashings, stepped flashings, parapet flashings, apron flashings and hip and valley flashings are a major cause of leaking roofs.



D2.4

Where it is: External Facia& jamb

What it is: Some areas have huge gaps that require flashing/ sealing as the timber is exposed. This will need to be rectified, not at all in an appropriate, skilful way or with reasonable care and skill. This is conditions conducive to structural damage.

Section 24 Schedule 1B of the Queensland Building and Construction Commission Act 1991 ('QBCC Act'). Division 2—Implied warranties for all contracts

Standard of work and exercise of care and skill

44. The building contractor warrants the subject work will be carried out—

- (a) in an appropriate and skilful way; and
- (b) with reasonable care and skill.



D2.5

Where it is: External

What it is: Brick over-hang. The brick over hang to the dwelling needs to be supported. The BCA, part 3.2.2.7 calls for a maximum overhang of 15 mm. All must be reworked and supported in accordance with AS 2870.

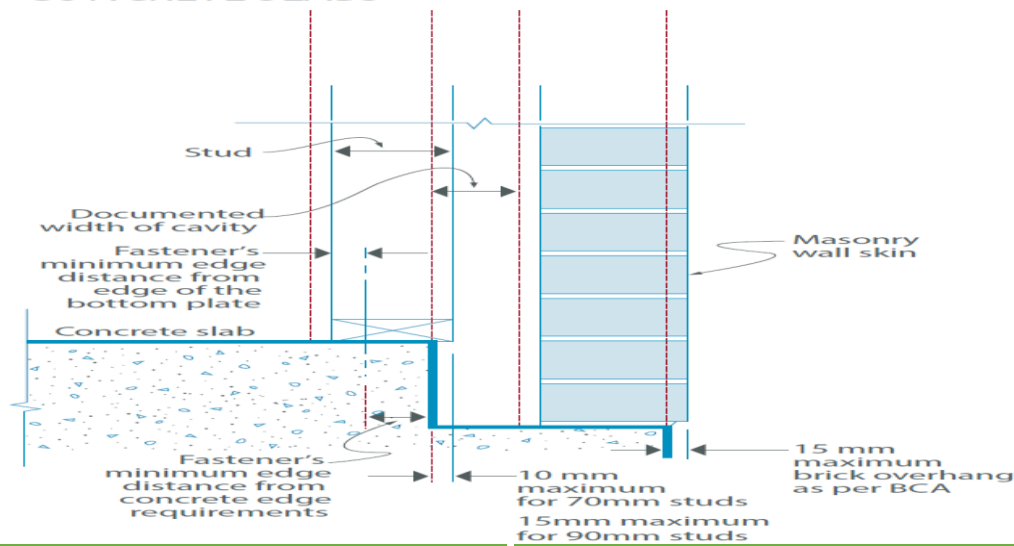
3.2.2.7 Edge rebates

Edge rebates for slab-on-ground, stiffened raft or *waffle raft* with masonry *cavity* or veneer construction must comply with the following:

- (a) The rebate must not be less than 20 mm, except as provided for in (d).
- (b) Exterior masonry must not overhang more than 15 mm past the edge of the slab.
- (c) The edge rebate must be flashed and drained in accordance with **Part 3.3.4** and where it cannot be flashed it must be filled with mortar.

Refer Figure 4.11

BOTTOM PLATES THAT OVERHANG CONCRETE SLABS



D2.6

Where it is: Front Door, Laundry PA Door, Garage Door

What it is: The doors have not been weather proofed and the weather seal have been pulled off and the seal groove has been gaped in some places. now allowed water to ingress into the building. This is very substandard workmanship all will need to be reworked to comply with below.

QBCC Standards and Tolerances 8.2 Weather-tightness of windows, doors and window and door frames

Window and door frame installations are defective if they allow water to penetrate to rooms in weather conditions anticipated by the BCA as below P2.2.2

Windows and doors are defective if, when closed, they allow the entry of water to rooms in weather conditions anticipated by the BCA. These areas will need to be reworked to “Deemed-to-Satisfy Provisions are an optional means of achieving compliance with the mandatory”.

Performance Requirements of the above.

P2.2.2 Weatherproofing

A roof and *external wall* (including openings around *windows* and doors) must prevent the penetration of water that could cause—

- (a) unhealthy or dangerous conditions, or loss of amenity for occupants; and
- (b) undue dampness or deterioration of building elements.

Limitation:

P2.2.2(a) does not apply to a Class 10 building except where its construction contributes to the weatherproofing of the Class 1 building.





Allowing water to ingress during rain



D3: Non-Structural defects

D3.1

Where it is: Many areas

What it is: At the time of inspection it was noted that there are areas with damage caused during the carrying out of building work, all will need to be rectified and present as new at handover.

QBCC Standards & Tolerances 0.5 Responsibility to rectify

Contractors will be liable to repair any consequential damage caused by, or as a consequence of carrying out building work on a residential building site or to a residential building on an adjacent site. Contractors will be liable to repair damage caused to property in the course of completing their building work.

Section 24 Schedule 1B of the Queensland Building and Construction Commission Act 1991 ('QBCC Act'). Division 2—Implied warranties for all contracts

Suitability of materials

42.(1) The building contractor warrants that all materials to be supplied for use in the subject work—

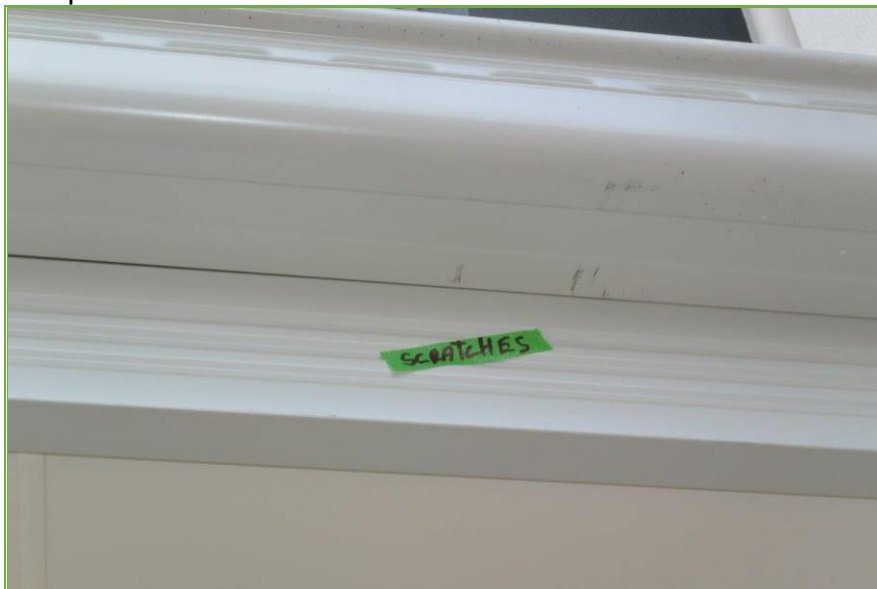
- (a) will be good and, having regard to the relevant criteria, suitable for the purpose for which they are used; and
- (b) unless otherwise stated in the contract, **will be new.**

1. At the time of inspection, the roof sheets and guttering has dents and marks. Roofs and Guttering are defective if they are dented or mark in the first 12 months of completion, this will need to be rectified. We refer the Builder to Below

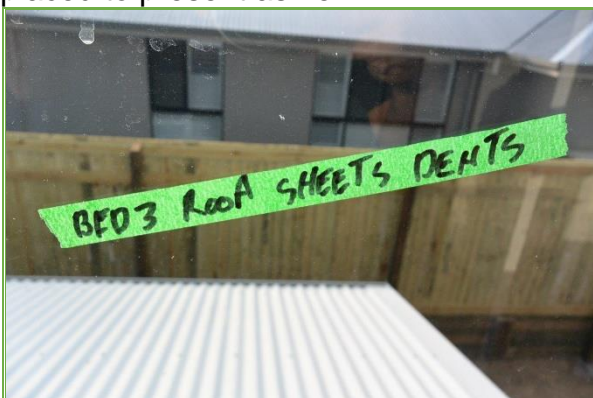
QBCC Standards and Tolerances. 6.3 Roof cladding

Within 12 months from date of completion of the works, staining, folds, splits, dents, open joints between panels, cracking and other distortions in roof cladding, are defects if they are visible from a normal viewing position at ground level or an upper floor level.

- Gutter is scratched during the carrying out of building works this will need to be rectified to present as new.



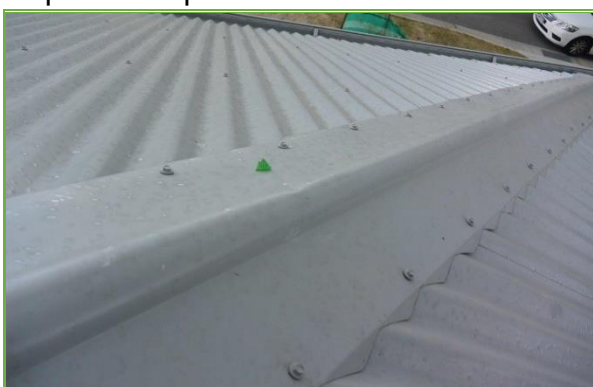
- Bedroom 3 roof sheets dents during the carrying out of building works this will need to be replaced to present as new.



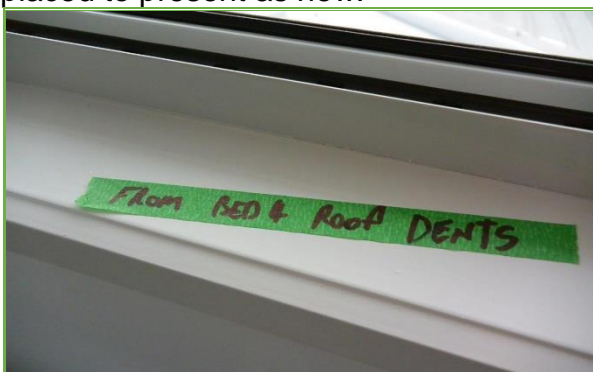
- Above entry roof sheets dents during the carrying out of building works this will need to be replaced to present as new.



- Ridge capping has been damaged during the carrying out of building works this will need to be replaced to present as new.



- Bedroom 4 roof sheets dents during the carrying out of building works this will need to be replaced to present as new.



2. Damage to the render on the front column, this will need rework as per **QBCC Tolerance & Standards 9.00 PLASTERING, RENDERING AND PLASTERBOARD** Within the first 12 months after completion of the work, obvious spot rust marks, due to the composition of the material and other blemishes, are defects if they are visible from a normal viewing position.



3. Chip bricks as marked caused during the carrying out of building works they were new when laid must be new at handover no chips or damage.



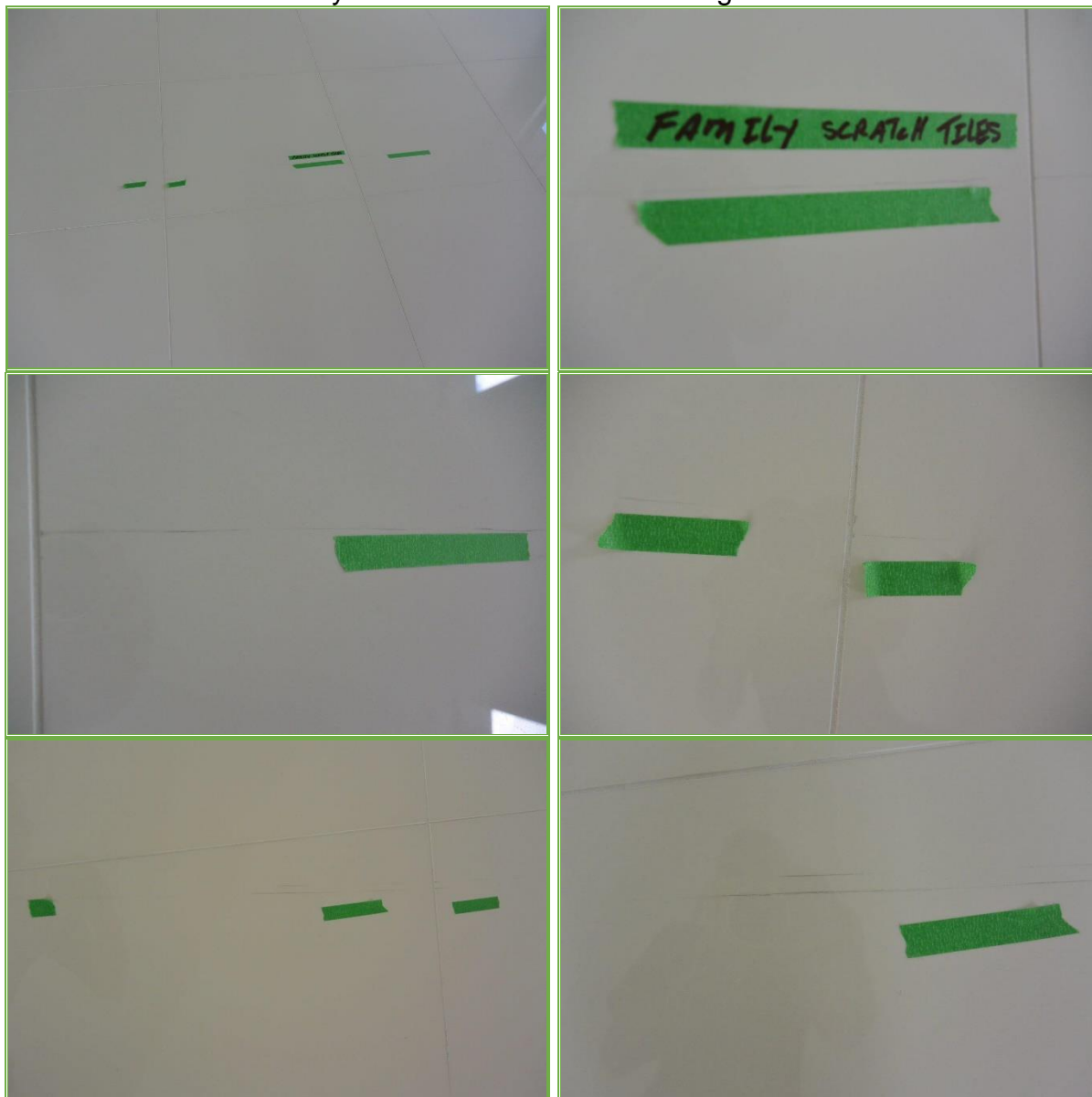
4. Meter box door stop is damaged caused during the carrying out of building works this will need to be replaced to present as new.



5. The family room has scratched tiles caused during the carrying out of building work. They were new when laid must present as new (No scratches, marks, chips)

QBCC Standards & Tolerances 2016 11.4 Cracked, pitted, chipped, scratched, loose tiles

Within 12 months of completion of the work tiles are defective if they are cracked, pitted, chipped, scratched, or loose unless such cracking, pitting, chipping or scratching has been caused by actions or inactions of the owner or others outside of the contractor's control. Within 6 years and 3 months from the completion of the work, cracked, pitted, chipped, scratched or loose tiles are defective if they allow water penetration into the building, or comprises the health and safety of those who use the building.



D3.2

Where it is: Many areas

What it is: There are many areas with substandard works very poor, below average standard for new construction, they will need rework before handover, not in an appropriate, skilful way or with reasonable care and skill.

Section 24 Schedule 1B of the Queensland Building and Construction Commission Act 1991 ('QBCC Act'). Division 2—Implied warranties for all contracts

Standard of work and exercise of care and skill

44. The building contractor warrants the subject work will be carried out—

- (a) in an appropriate and skilful way; and
- (b) with reasonable care and skill.

1. There are many external areas with excessive gaps that will need to be sealed/silicone as this can cause water and pest ingress as marked all will need to be sealed and completed to reach practical completion.

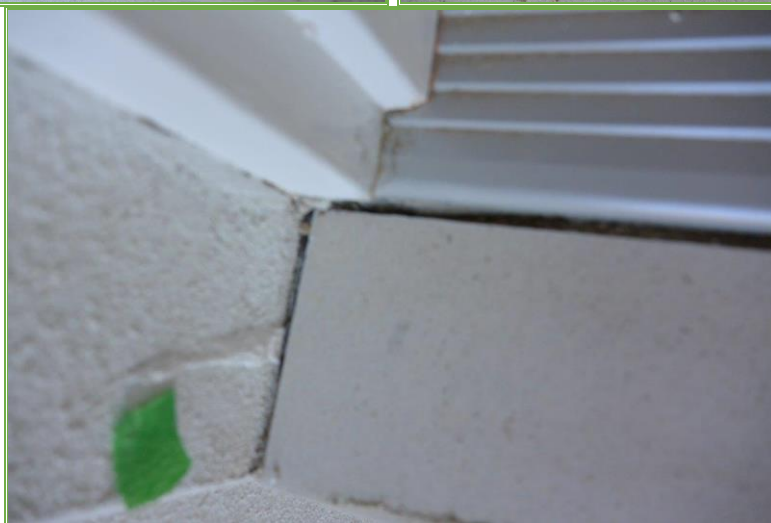
The Performance Requirements of the BCA, which is the section that the builder must achieve compliance with, states in Part 2.4 Health and Amenity 02.4.3 Facilities

'The Objective is to safeguard occupants from illness caused by infestation'.





- External front entry large gaps need to be sealed, substandard finish, this will need to be rectified not in an appropriate, skilful way or with reasonable care and skill,



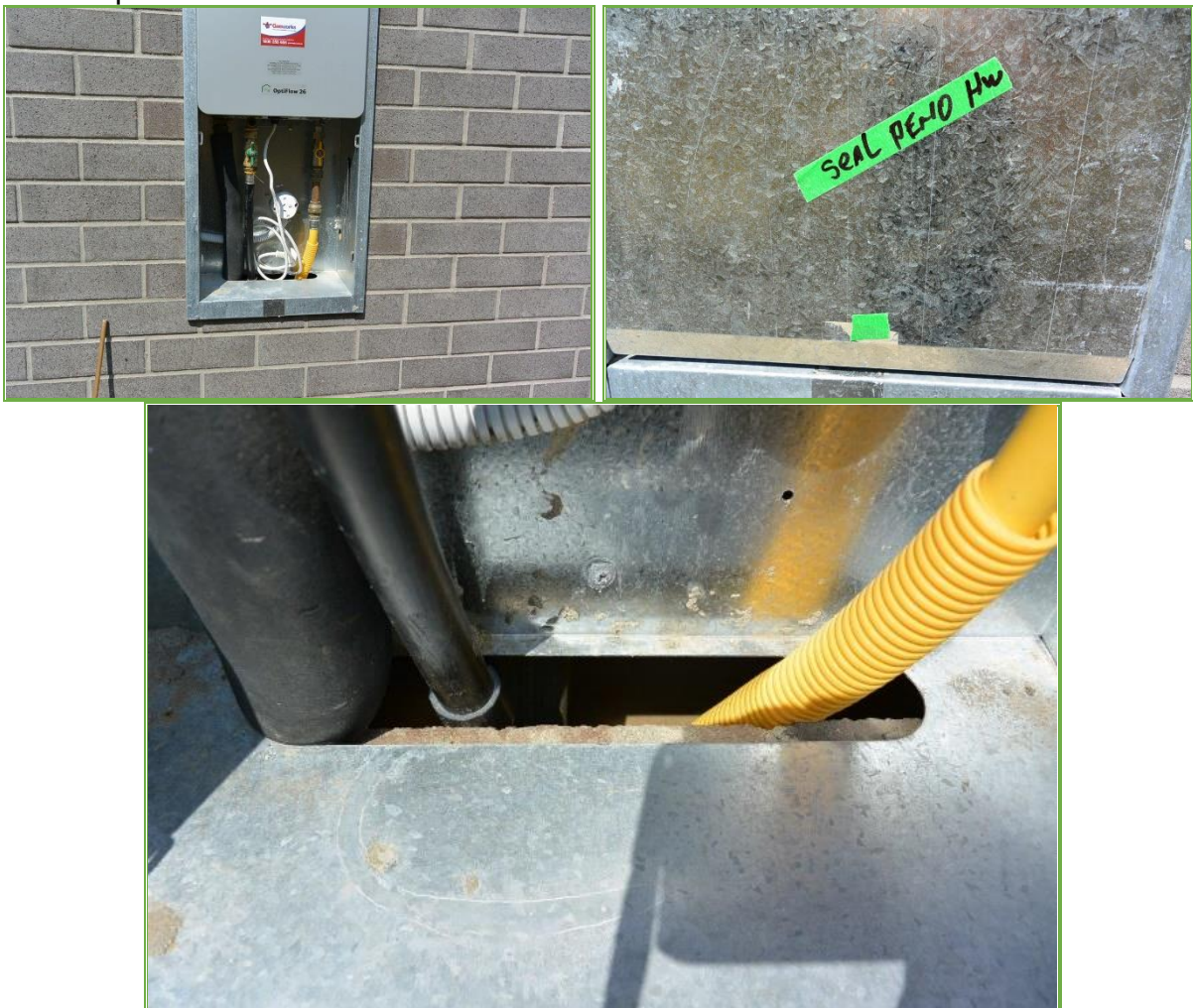
- Bedroom head gaps need to be sealed, substandard finish, this will need to be rectified not in an appropriate, skilful way or with reasonable care and skill,



2. It was noted at the time of inspection, that there are gaps around Gas HWS pipe fittings, these will need to be filled and sealed.

QBCC Standards & Tolerances 7.8 Pipe penetrations through external walls and inside cupboards.

Within the first 12 months after completion of the work, plumbing holes are defective if they are not properly grouted as appropriate, or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.



3. Substandard finish to the alfresco slab edge as marked this will need to be reworked to bring it up to a suitable standard that is acceptable.

QBCC Standards & Tolerances 2.12 Finish to concrete slabs

Within the first 12 months after completion of the work, the finish to a concrete slab is defective if it is not suitable for the documented applied finishes such as tiles, polished concrete, carpet or sheet flooring, including set downs where required.



4. External wall mortar blow outs and voids many areas this will need to be rectified not in an appropriate, skilful way or with reasonable care and skill,

QLD Standards & Tolerances 3.10 Voids and holes in mortar

Within 12 months from date of completion of the work, voids and holes in mortar in masonry walls, excepting weepholes and vents, are defects if they are visible from a normal viewing position.





5. Many areas with excessive mortar smears and marks, excessive paint to be cleaned off as marked. This is below average standard for new construction with many areas not cleaned and can be seen from a normal viewing point.

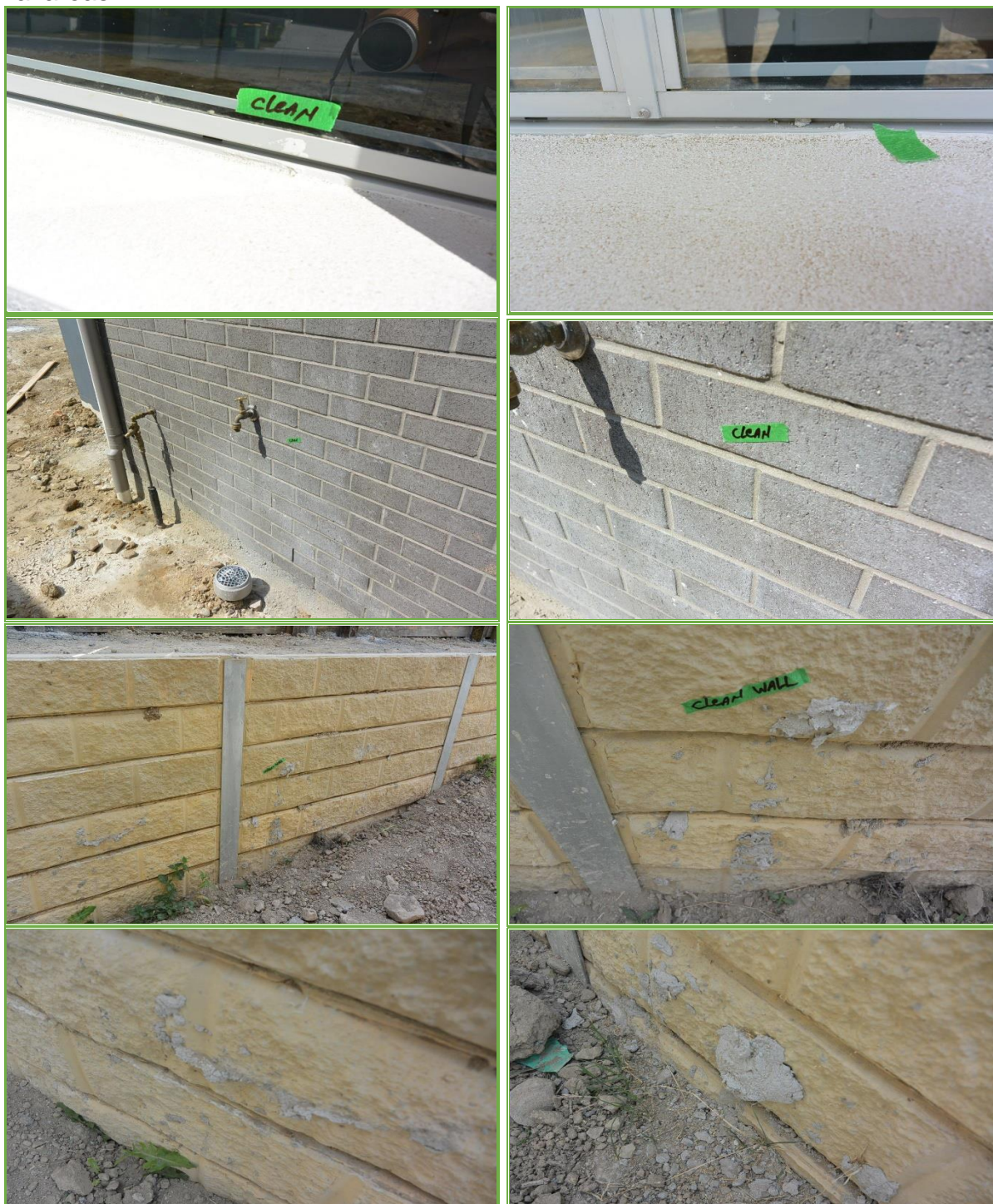
QBCC Standards and Tolerances 3.12 Cleaning, mortar smears and stains

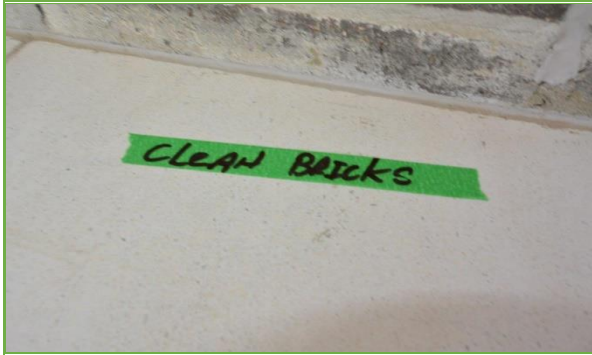
Within 12 months from date of completion of the work, stains, mortar smears and damage caused by cleaning are defects if they are visible from a normal viewing position.

QBCC Standards and Tolerances. 12.2 Surface finish of paintwork

Within the first 12 months after completion of the work, excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges is a defect.

External areas



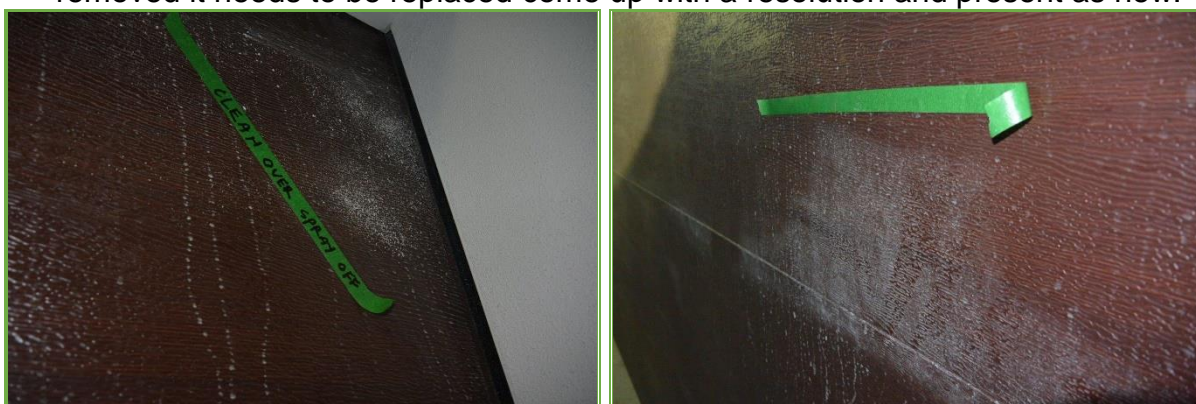




- Clean excessive paint off roof sheets, all needs to be cleaned and present as new.



- Garage panel lift door excessive paint all needs to be cleaned off if paint cannot be removed it needs to be replaced come up with a resolution and present as new.



- Front door bottom seal excessive paint all needs to be cleaned off if paint cannot be removed it needs to be replaced and present as new.





- Downstairs storage room excessive paint on slab floor this will have to be cleaned so it can be suitable for applied finishes, not in an appropriate, skilful way or with reasonable care and skill. If it cannot be cleaned the builder will have to come up with a resolution to fix it.

QBCC Standards & Tolerances 2.12 Finish to concrete slabs

Within the first 12 months after completion of the work, the finish to a concrete slab is defective if it is not suitable for the documented applied finishes such as tiles, polished concrete, carpet or sheet flooring, including set downs where required.

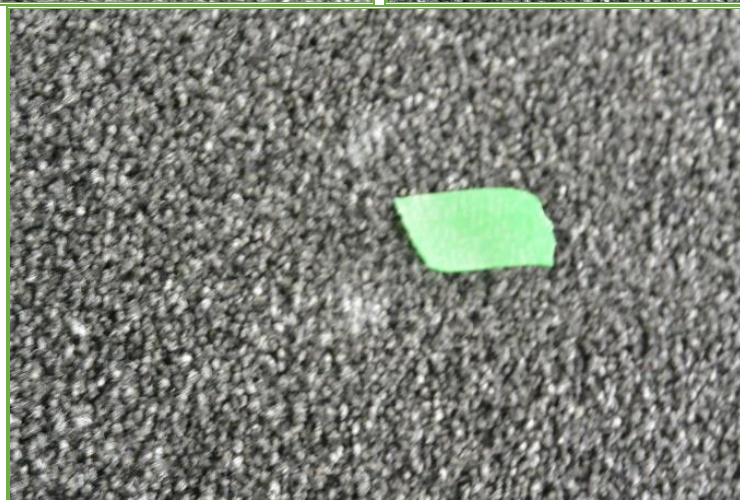


- Internal areas with excessive paint all need to be cleaned off to a suitable standard that is acceptable, not in an appropriate, skilful way or with reasonable care and skill.





- Carpet in many areas as marked has excessive paint all needs to be cleaned off if paint cannot be removed it needs to be replaced and present as new.



- Upstairs balcony excessive paint smears



6. The stormwater pipes have not been fully painted, this needs to be rectified and completed before practical completion.

The installation of the storm water plumbing system is regulated under AS3500.3

In section 2.3 and section 2.4.4 of this Australian Standard it clearly states that materials and products used in a plumbing and sanitary installation shall be selected to ensure satisfactory service for the life of the installation.

Note the requirements in section (c). Note section (a) in 2.4.4 The white PVC storm water pipes that are exposed to direct sunlight is not UV rated and **MUST** be protected from direct sunlight.

The pipes must be painted in a UV rated paint in a colour that matches the downpipe. Polyvinyl chloride (PVC) pipes and fittings as specified in AS 1254, AS/NZS 1260, AS 1273, AS/NZS 1477 and AS/NZS 2179.2 (Int) shall where exposed to direct sunlight, have resistance to UV radiation or alternatively be protected in accordance with AS 2032. This Australian Standard is called for in the BCA and the NCC and is adopted.

AS/NZS 2032 Installation of PVC pipe systems specifies that PVC-U pressure pipes installed in direct sunlight must be either painted with light coloured water-based paints, or otherwise protected.

For drinking water, the above listed downpipe material requirements apply whether the system is charged or not charged.





7. External front glass panel missing beading, substandard finish this will need to be rectified not in an appropriate, skilful way or with reasonable care and skill,



8. Many doors have been substandard installation with not aligned, marks, missing screws, mechanical damage, splitting timber, damaged caused during the carrying out of building works. They will all need to be rectified and present as new.
- Front door wrong colour and has black marks this will need to be rectified



- Front room door downstairs 6 screws missing very substandard installation, not in an appropriate, skilful way or with reasonable care and skill.



- Study door screws missing and it has been damaged during the carrying out of building works very substandard installation, not in an appropriate, skilful way or with reasonable care and skill this will need to be replaced.





- Laundry door has been damaged and is delaminating during the carrying out of building works very substandard installation, not in an appropriate, skilful way or with reasonable care and skill this will need to be replaced.



- Ensuite door not closing flush, substandard installation, not in an appropriate, skilful way or with reasonable care and skill this will need to be reworked.



- Living room door and frame substandard installation missing hinge not installed, not in an appropriate, skilful way or with reasonable care and skill this will need to be reworked.



- Upstairs Toilet door and frame substandard installation has been damaged, over cut for hinges mechanical damage, not in an appropriate, skilful way or with reasonable care and skill this will need to be replaced.

QBCC Standards & Tolerances 12.4 Mechanical damage and natural defects in surfaces.

Within the first 12 months after completion of the work, holes and any other unfilled depressions in painted or stained timber such as surface defects caused by mechanical damage, natural characteristics such as gum pockets or surface splits are defects if they can be seen from a normal viewing position.



9. Downstairs shower silicone very substandard not the same colour, not in an appropriate, skilful way or with reasonable care and skill.





10. Kitchen under bench missing silicone, not in an appropriate, skilful way or with reasonable care and skill.



11. Ensuite toilet roll holder loose this will need rework, not in an appropriate, skilful way or with reasonable care and skill.



12. Ensuite vanity lights very substandard installation with not been aligned, crooked, not uniformed finished seen from a normal veiwing point, not in an appropriate, skilful way or with reasonable care and skill. This will need reworking to bring it up to a suitable standard that is accepcable.



13. Main bathroom plug is jamb substandard installation, not in an appropriate, skilful way or with reasonable care and skill. This will need reworking to bring it up to a suitable standard that is fit for purpose and working.



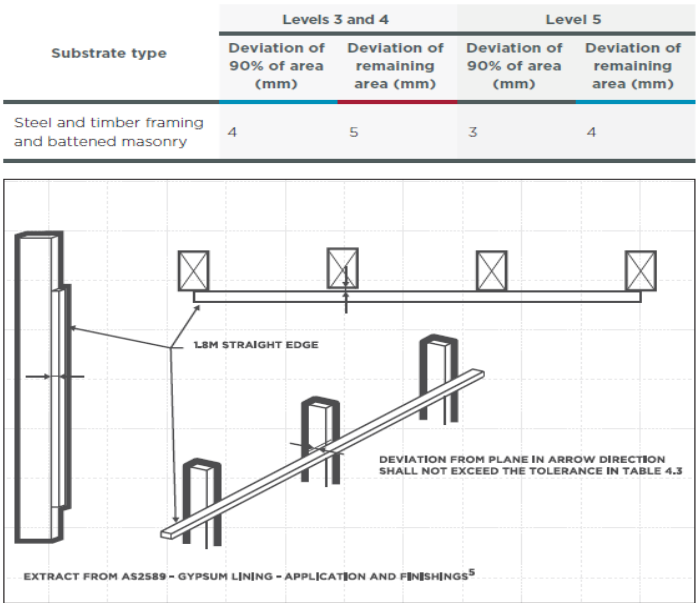
14. Walls exceed the allowable allowance, this will need to be reworked before handover.
We refer the builder to the insert below.

QBCC Standards & Tolerances guide 4.3 reproduces table 4.2.2 from Australian Standard. The deviation in the position of the bearing surface of the finished framing immediately prior to installation of lining from a 1.8mm straight edge shall not exceed the values given in table 4.3 when measured over a 1.8mm span at any point. Where the dimensional tolerances of the fixing surface plane fall outside these tolerances, a suitable levelling system shall be used. For wall and ceiling framing that meets the dimensional tolerances of this clause gypsum linings may be fixed directly to the framing with an appropriate fastening system.

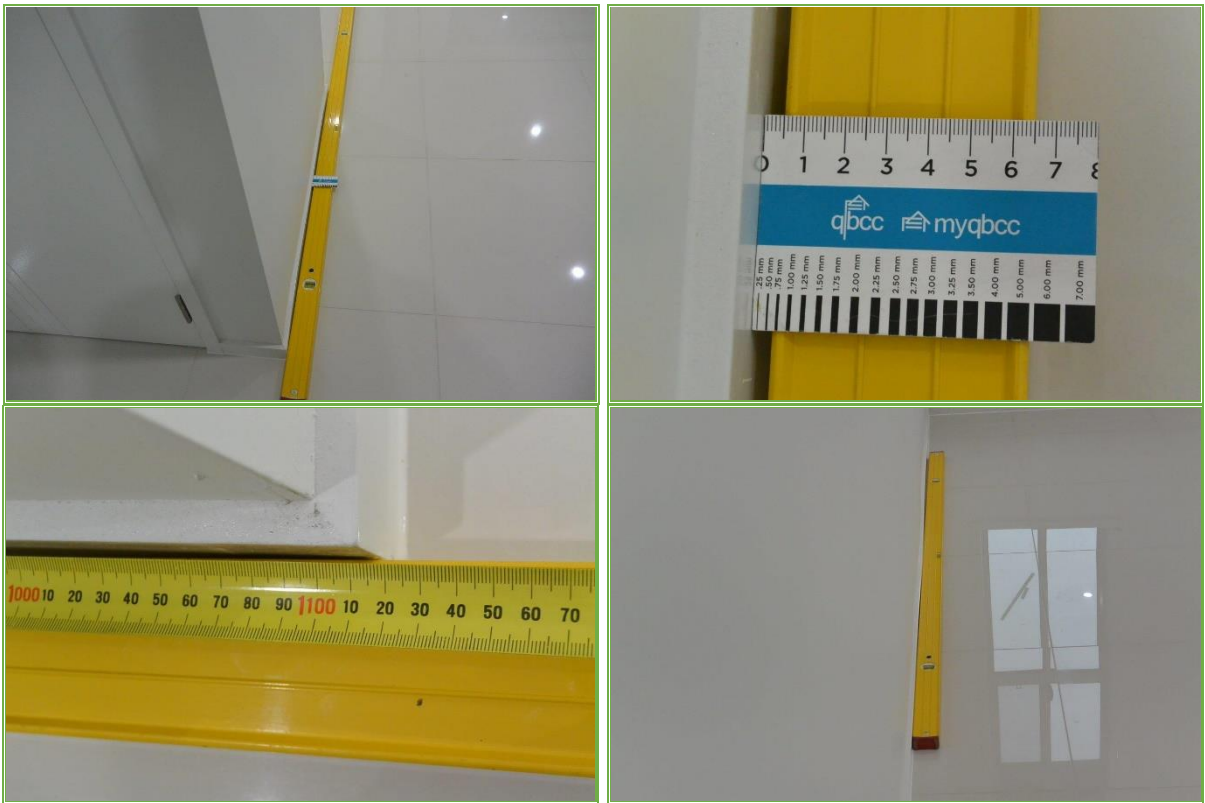
Frames that will be subject to the subsequent fixing of plasterboard must be such that when a 1.8m straightedge is placed over the wall frame the maximum deviation from the straightedge must not exceed 4mm over 90% of the area and not exceed 5mm over the remaining area.

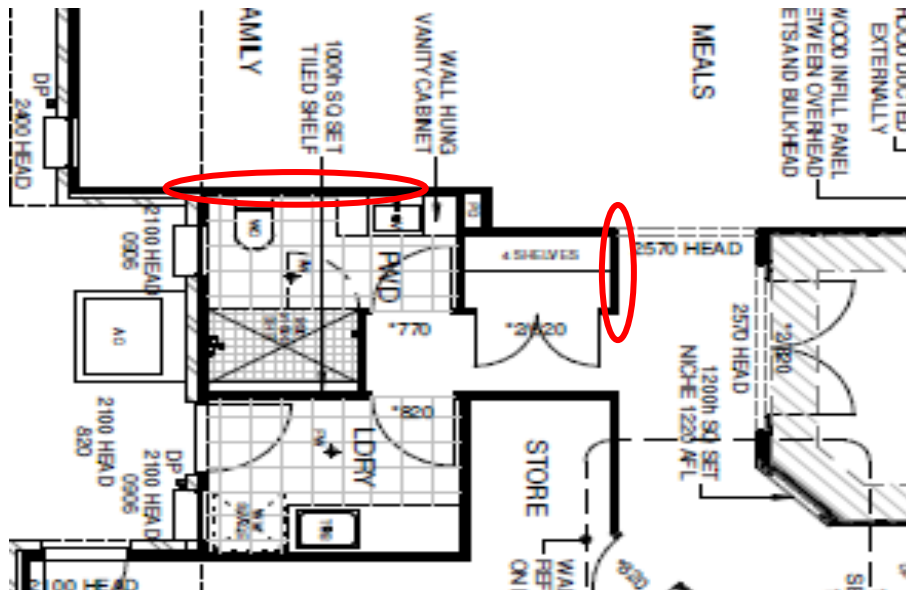
Within 12 months from completion of the work frames that exceed these tolerances are defective. Refer Figure 4.3 which reproduces Table 4.2.2 from *Australian Standard AS 2589*.

Figure 4.3 DEVIATION IN THE POSITION OF THE BEARING SURFACE OF THE FINISHED FRAMING CLASSIFICATION OF DAMAGE WITH REFERENCE TO WALLS



⁵ Reproduced with permission from SAI Global Ltd under licence 1602-c018





There are areas with starved paint, not completed, very substandard below average standard for painting in new construction.

Within the first 12 months after completion of the work, paintwork is defective if application defects or blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, uniformity of gloss level and other irregularities are visible in the surface from a normal viewing position.

C4 FINAL INSPECTION

(a) The painted surface shows—

- (i) uniformity of gloss, colour and opacity;
- (ii) correct range of dry film thickness of paint;
- (iii) freedom from painting defects such as—
 - (A) tackiness and paint application defects; and

- (B) brush marks, roller coater marks, spray application defects and those irregularities in texture, which are inconsistent with good trade practice.

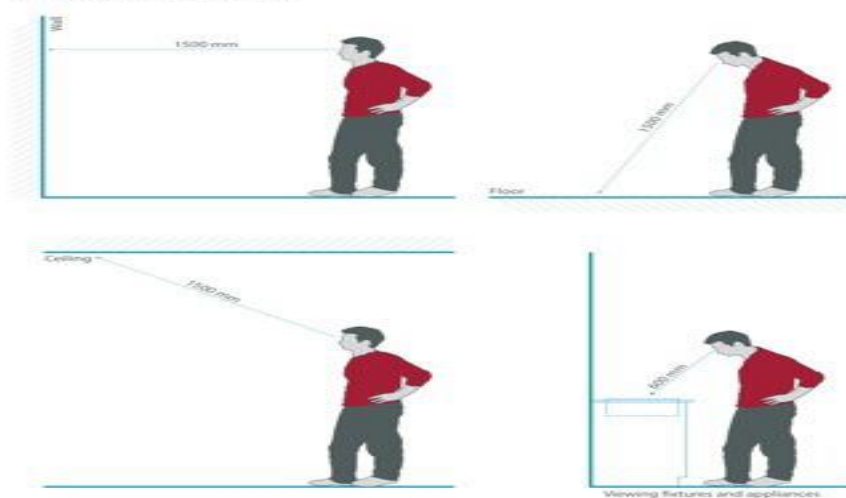
NOTE: Differences in appearance will occur; however, where such differences are not clearly discernible from a distance of typically 1.5 to 2 m the finish is usually considered acceptable. Joinery should be also inspected for the presence of light surface grit or coarse particles which may only be identified by touching the surface.

- (iv) General cleanliness and absence of disfigurement, related to paint application.

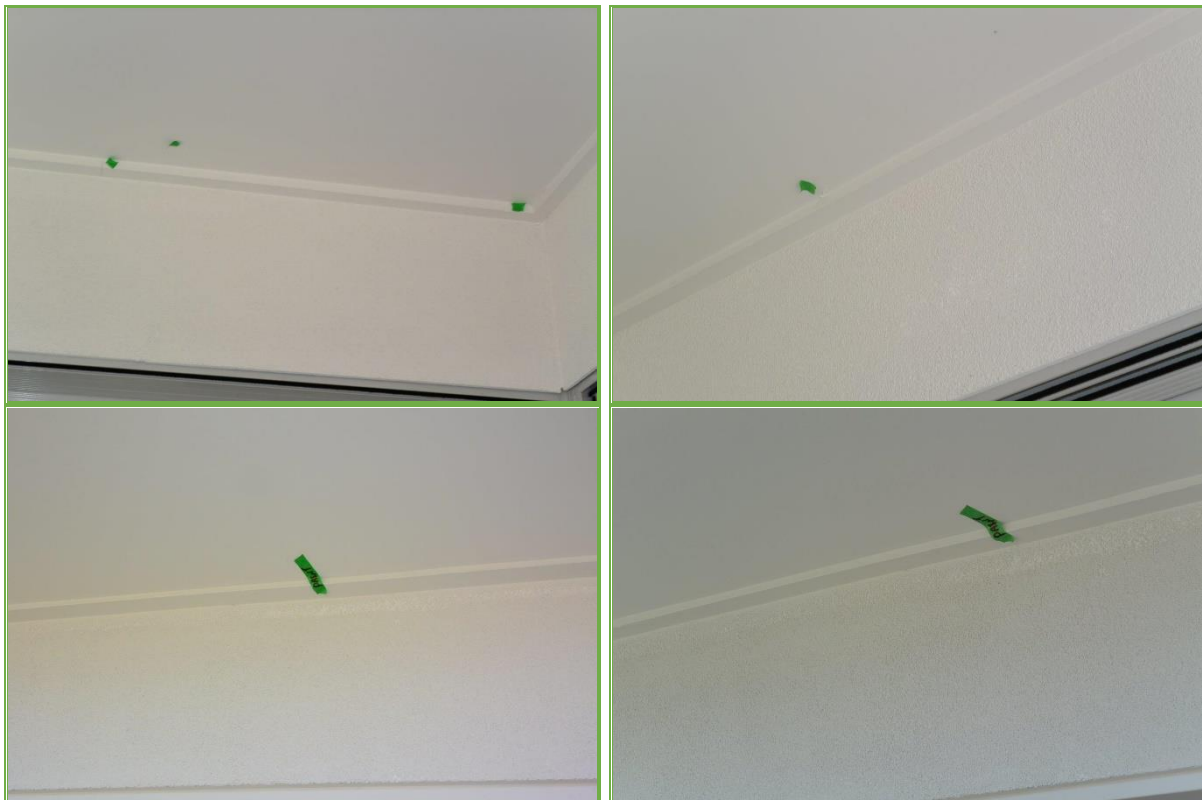
NOTE: Surfaces, fixtures and fittings should be checked to ensure that they have been masked or removed, and that all paint spills or stains have been removed as set out in the specifications.

- (b) The surrounding area is clean, tidy and undamaged, and all of the paint contractor's materials, equipment and debris related to the work performed, are removed from the premises or site.

DIAGRAM F
NORMAL VIEWING POSITIONS



10





- Beading is starved of paint this will all need to be repainted before practical completion.



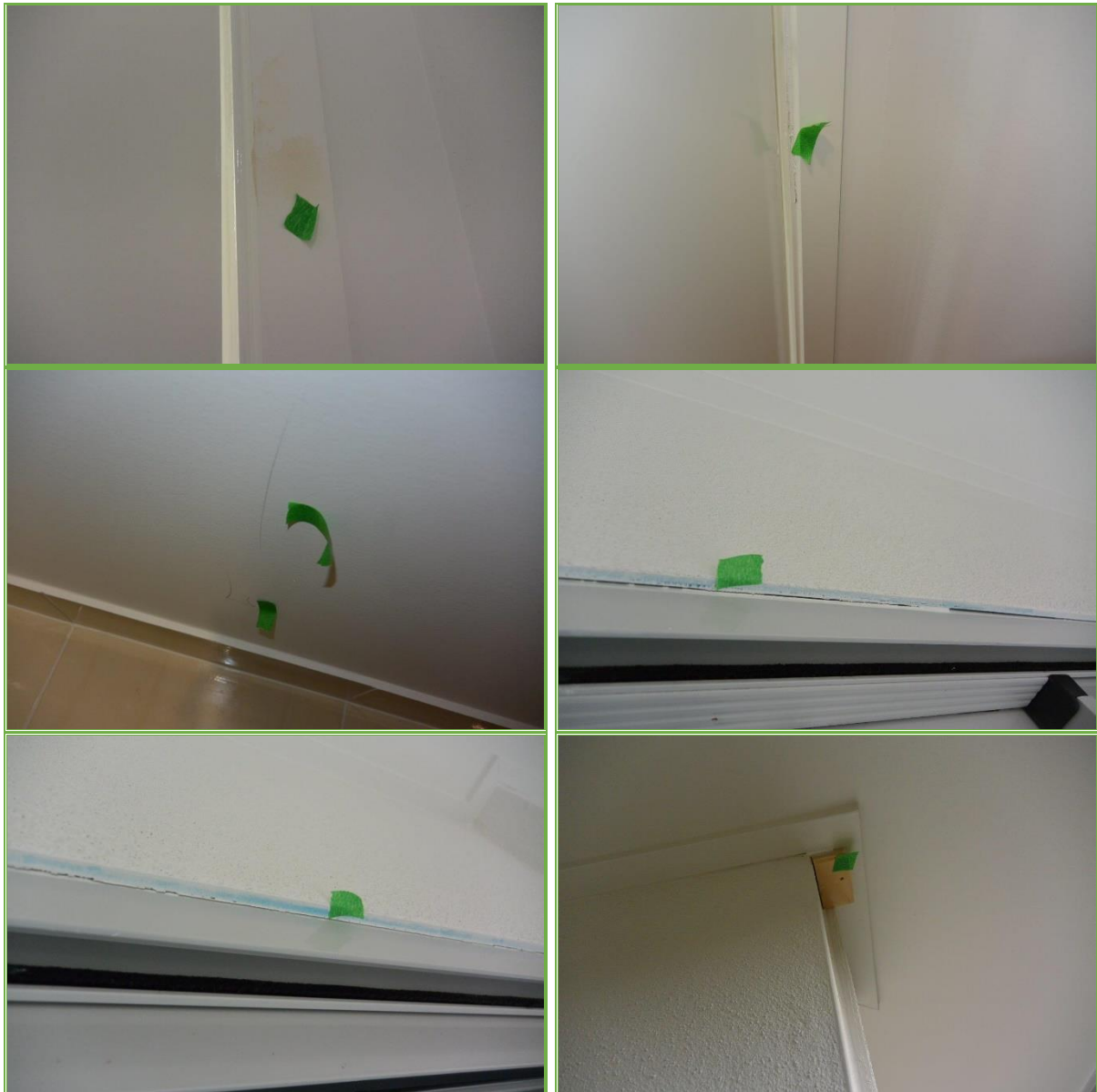
- Poor finished to external areas that can be seen from a normal viewing point all will need to be repainted and tidied up this very poor workmanship.



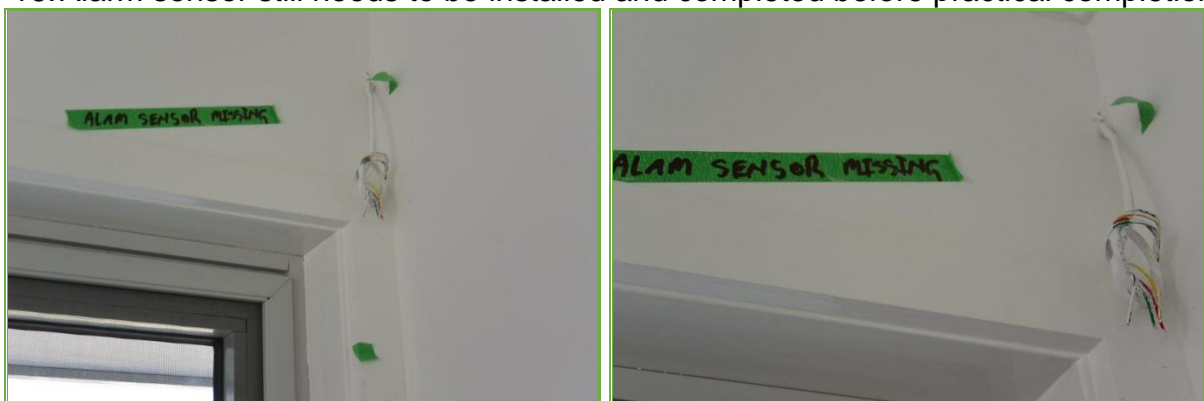
- Internal many areas require re-painting as marked







16. Alarm sensor still needs to be installed and completed before practical completion.



17. General cleaning, site and building needs to be cleaned to be brought up to the minimum Standard. All builders waste must be removed.

A good test of what makes up builder's waste is if the builder brought it to site and it has been discarded, and then the builder needs to remove it from site. Owners are entitled to expect that the building site and works are clean and tidy on completion. Where handover is delayed for any reason the owner must expect that dust may have settled on interior exposed surfaces. Building sites are defective if, upon handover, they are not clear of building debris. Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned and shelving, drawers and cupboards ready for use.

Builders waste to be removed



Clean meter box



Stickers to be removed



Section E Conclusion

In conclusion, following the inspection of surface work in the readily accessible areas of the property, **this is clearly not ready for Practical Completion, Below Average Standard for New Construction**. Our clients have requested that we place in writing a formal request that all items in this report are rectified. We refer the Builder to the Builder's own contract with our client which calls for the Builder to act on ALL KNOWN DEFECTS. All items in this report are therefore brought to the Builder's attention and are therefore known to the Builder. We would suggest that the Builder rework the dwelling and **set a new date for Practical Completion** so that it complies with the minimums set out in the BCA, the Australian Standard and all other relevant requirements as this is clearly below the minimum standard finish for Practical Completion. If the Builder feels that we are in error, we request that they justify with a counter reference that would support that position and show cause why they do not have to rectify.

Section F Important note

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

Section G Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbook Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants'.

Authorised Signatory: *David Tacon*

Name: David Tacon Date of Issue: 24 September, 2018

Definitions to help you better understand this report

“Client” The person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

“Building Consultant” A person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 ‘Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings’. The consultant must also meet any Government licensing requirement, where applicable.

“Building & Site” The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

“Readily Accessible Areas” Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant’s unobstructed line of sight and within arm’s length.

“Structure” The loadbearing part of the building, comprising the Primary Elements.

“Primary Elements” Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term ‘Primary Elements’ also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

“Structural Damage” A significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) *Structural Cracking and Movement* – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) *Deformation* – an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) *Dampness* – the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) *Structural Timber Pest Damage* – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

“Conditions Conducive to Structural Damage” Noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

“Secondary Elements” Those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

“Finishing Elements” The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term ‘Finishing Elements’ does not include furniture or soft floor coverings such as carpet and lino.

“Major Defect” A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect” A defect other than a Major Defect.

“Serious Safety Hazard” Any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

“Tests” Where appropriate the carrying out of tests using the following procedures and instruments:

- (a) **Dampness Tests** means additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- (b) **Physical Tests** means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

Terms on which this report was prepared

SERVICE As requested by the Client, the inspection carried out by the Building Consultant (“the Consultant”) was a ‘Standard Property Report’.

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers and deals with any evidence of: Major Defects in the condition of Primary Elements including Structural Damage and Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in “Special Conditions or Instructions”, the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. 'Visual only' inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslide or tidal inundation, or if it is flood prone; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.