

This is a visual only Building Inspection & Report carried out in accordance with AS4349.1

## **Pre-Purchase REPORT** (hereinafter called the "Report")



**ALL INSPECT**  
All Building & Termite Inspections

**Inspection Date: 4/02/2016**

**Property Address: A15 Sample St Upper sample 4122**



### **SERVICES**

**New Construction**  
Slab  
Frame  
Lock-Up  
Handover  
6 Months Warranty

**ALLINSPECT**  
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Park Ridge QLD  
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**Pre-Purchase**  
Pre-Sale  
Commercial  
Rental Safety Reports  
Maintenance Reports  
Renovation Reports

**We also do Special Reports and Invasive Inspections**

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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

## Special conditions or instructions

The following apply: This is a Sample report, some things maybe different in other reports.

## The parties

Report number:	Sample
Pre-engagement inspection agreement number (if applicable):	was emailed.
Name of Client:	Mr Sample
Name of Principal (if applicable):	N/A
Address of Client:	Same as Above
Client's email:	sample@yahoo.com.au
Client's telephone number:	Sample
Consultant's name:	David Tacon
Consultant's licence number (if applicable):	535928
Consultant's mobile number:	0421235310
Company name:	ALLINSPECT
Company address and postcode:	PO BOX 1104 Park Ridge 4125
Company email:	info@allinspect.com.au
Company telephone number:	32970345      1300 25 46 77

## Section A Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

In respect of significant items:

Evidence of Serious Safety Hazards was observed - see Section D, Items D1.

Evidence of Major Defects was observed - see Section D, Items D2.

Evidence of Minor Defects was observed - see Section D, Items D3

### Strata or company title properties

Not applicable.

SAMPLE

### General description of the property

Residential building type:	Detached house.
Number of storeys:	Single storey.
Building age (approx):	The building 1950+
Smoke detectors: Safety Switch:	There were Smoke detectors and Safety Switch IMPORTANT NOTE The adequacy and testing of smoke detectors and safety switch is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.
Site drainage:	The site appears to be adequately drained.
Occupancy status:	Occupied and fully furnished.
Orientation (to establish the way the property was viewed):	The façade of the building faces east. Note. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Dry. Fine
Other:	Asbestos

### Primary method of construction

Main building – floor construction:	Part suspended timber framed and slab-on-ground.
Main building – wall construction:	Timber framed. Cladded and Render, Brick Veneer.
Main building – roof construction:	Timber framed. Tiles
Overall quality of construction and materials for building:	Acceptable.
Overall quality of construction and materials for other structures	Acceptable.
Level of maintenance:	Poorly maintained.

## Section D Condition Report

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this Condition Report, monitoring and normal maintenance must be carried out (see also Section F 'Important note').

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

### D1: Serious safety hazards

**Where it is:** Internal

**What it is:** Windows have no restrictors, this is a safety hazard.

**Results:** At the time of inspection some of the windows do not have the restrictors on them. These items are a potential safety hazard and needs to be addressed. A window opening must be provided with protection, if the floor below the window in a bedroom is 2 m or more above the surface beneath. The above recommendations should be implemented straight away as a matter of urgency.



**Where it is:** External

**What it is:** Pool gate - not latching correctly.

**Results:** The pool gate should automatically close to comply with Australian Standards and relevant state based legislation. Commenting on compliance with Legislation and Local Laws is outside the scope of this Report so this defect is noted for your information advice and further action. Maintenance of the pool gate and its fixings is urgently required. It represents an urgent and serious safety hazard if left unattended. Recommend a pool certifier to determine the method and the extent of any remedial work required and costs.



## D2: Major defects

### D2.1 Roof

**Where it is:** External Roof

**What it is:** Cracked/Broken Tiles.

**Results:** Broken or cracked tiles are the result of aging and the weather as well. If left (Not repaired or replaced) the broken/cracked tiles may allow water to enter into the roof void causing damage to the ceiling lining and may cause damage to the roof structure, which can lead to conditions that are conducive to structural damage. Recommend a roof contractor to further investigate and repair the roof as soon as possible.

The above recommendations should be implemented as soon as possible.

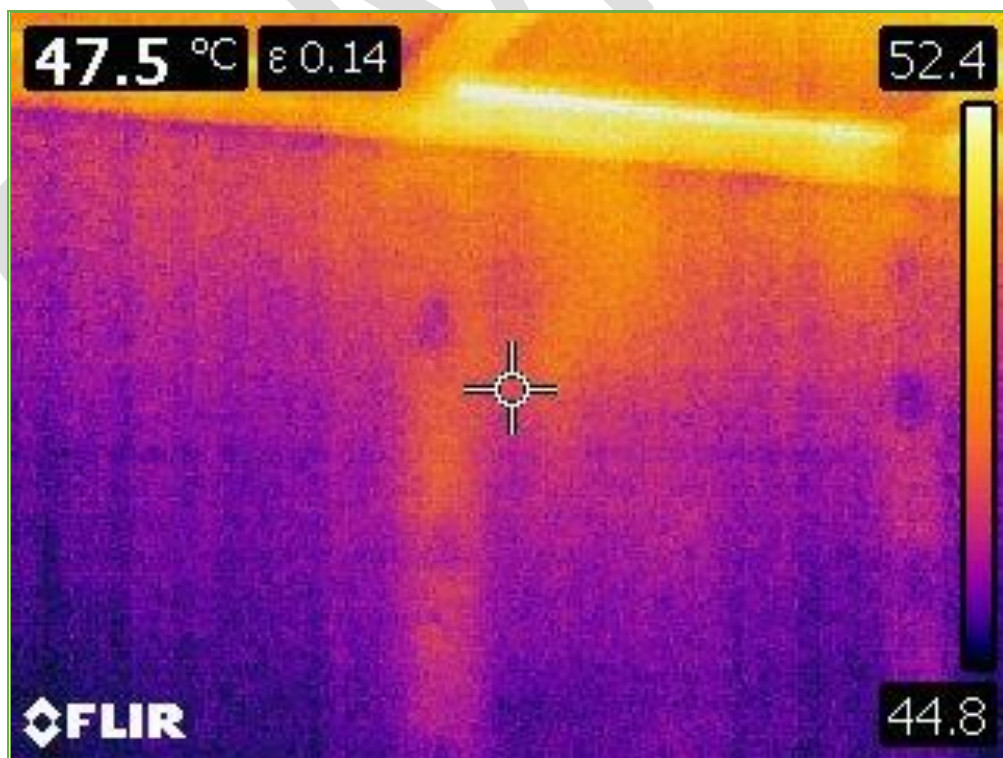


## D2.2 Subfloor space

**Where it is:** Subfloor entry & garage back wall.

**What it is:** Termite damage subfloor and suspected termites or high moisture with thermal.

**Results:** Although no evidence of live termite activity was found in the area at the time of inspection it is suspected that termites was identified on the property. Further inspection of external and internal areas may be required in order to correctly identify the damage by termites and may include works of an intrusive nature. It is strongly recommended that a Licensed Builder ascertain the structural integrity and the extent of the unknown damage that may be concealed. It is also recommended that a Licensed Pest Company advise the treatment or method that should be carried out. The above recommendations should be implemented as soon as possible.



## D2.3 Roof Void

**Where it is:** Roof Void

**What it is:** Water leak – active

**Results:** As the surrounding area was found to be damp at the time of inspection the leak is ongoing and requires urgent action. If left, not repaired it can cause damage to the ceiling lining and may cause damage to the roof structure, which can lead to conditions that are conducive to structural damage. Recommend a roof contractor to further investigate the leak and repair the roof as soon as possible. The above recommendations should be implemented as soon as possible.



**Where it is:** Garage

**What it is:** Ceiling –Sagging

**Results:** Sagging to the ceiling generally indicates that the building materials have swollen due to contact with water or that fixings, nails, or glue have become loose and require reattachment. In some cases, sagging ceiling linings may also indicate that there are structural issues causing surfaces to warp twist or sag. Where sagging appears to be major appointment of a structural engineer is advised to further inspect the property. A Licensed Tradesmen is recommended to determine the method and the extent of any remedial work required, and associated costs and the extent of the damage behind the ceiling cover.



## D2.4 External

**Where it is:** External

**What it is:** Under cover area is loose and potentially could collapse.

**Results:** The primary structures are showing signs of deterioration as a result of damp conditions (wood rot) and rusty bolts which has created the loss of strength, which may cause the structure to fail and collapse. A Licensed Builder is recommended to determine the method, cost and the extent of any remedial work required and to determine the structural integrity of the structure. The above recommendations should be implemented as soon as possible as this is a safety hazard.

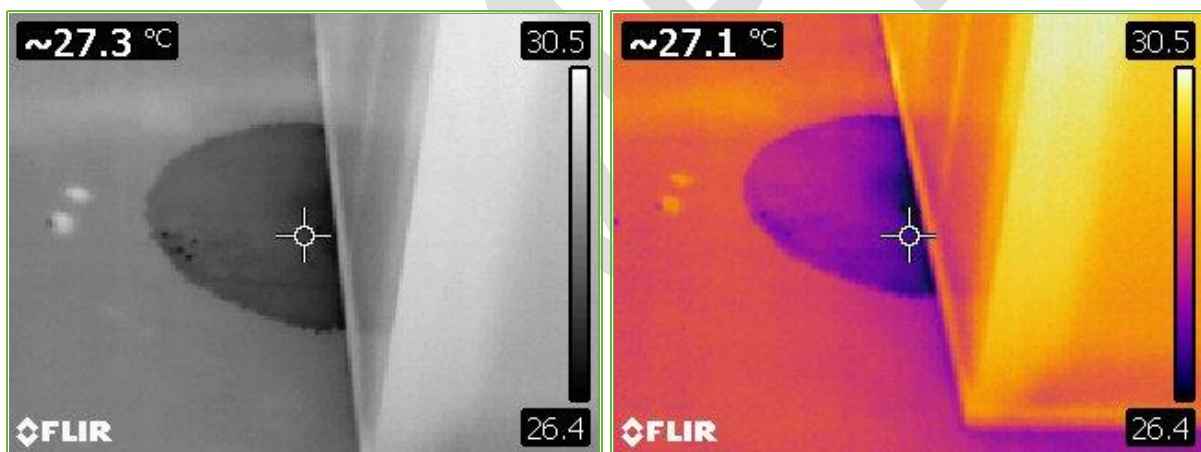


## D2.5 Internal

**Where it is:** Internal Bathroom and adjacent Wall

**What it is:** High Moisture and evidence of leaking.

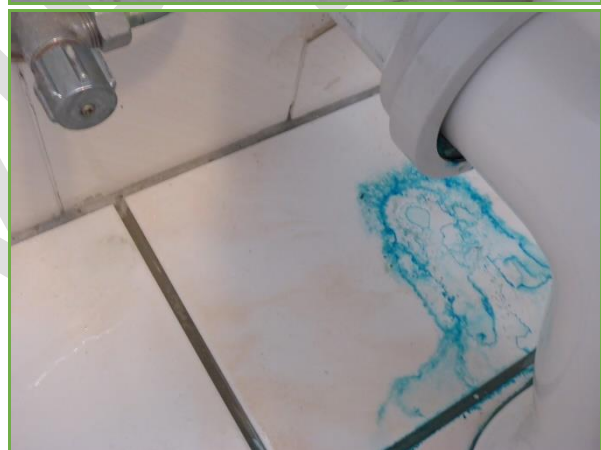
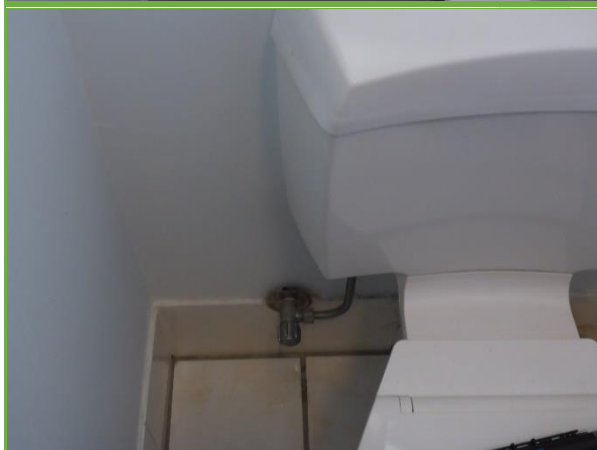
**Results:** High Moisture was noted in wall, which can cause conditions conducive to structural damage. Under test conditions it was revealed that high moisture was evident in the secondary wall adjacent to the shower. Damp or wet conditions generally indicate a leak or poor ventilation, or failure of the waterproofing. Recommend a Plumber, to determine the cause and the method. The above recommendations should be implemented as soon as possible.



**Where it is:** Internal All Toilets

**What it is:** Toilets leaking – active.

**Results:** As the surrounding area was found to be damp at the time of inspection the leak is ongoing and requires urgent action as it can cause conditions conducive to structural damage. Regardless of the location if left unmanaged leaks can lead to serious damage of associated building elements and result in the need for replacement of building materials. Mould and other hazards such as electrical hazards may also arise if left unmanaged. A licensed plumber should be appointed to further investigate the leak. The above recommendations should be implemented as soon as possible.



## D3: Minor defects

**Where it is:** External Roof

**What it is:** Gutters & Valleys blocked with debris (leaf litter)

**Results:** When you have blocking of the gutters/valleys and downpipes, they may lead to pooling of water and water may overflow into the eaves and exterior walls causing secondary defects, which can lead to conditions that are conducive to structural damage. Also the pooling of water can cause the gutters/valleys to rust and it also provides conditions that are conducive to termites. Recommend a licensed roof plumber for advice if there is significant damage to the general handyman to remove leaf litter and clean gutters/valleys.

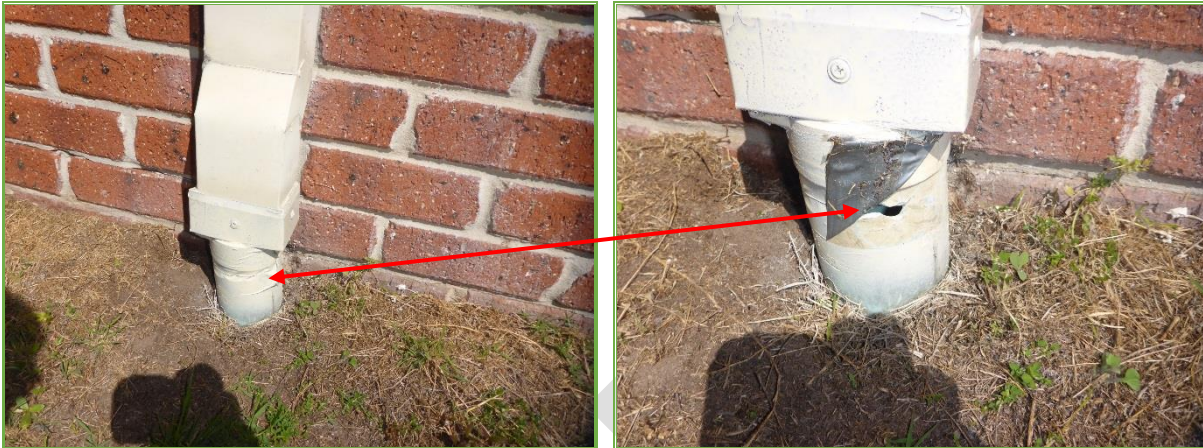
The above recommendations should be implemented as soon as possible.



**Where it is:** External

**What it is:** Storm water Damage/Missing not adequately connected.

**Results:** Roof plumbing is not adequately connect to drainage which can cause conditions conducive to structural damage. When the roof plumbing does not drain adequately, the area can become quite damp and may lead to conditions conducive to structural damage, and it is also an environment that is conducive to termites. Recommend a plumber to repair or replace damage or missing roof plumbing. The above recommendations should be implemented as soon as possible.



**Where it is:** External Wall

**What it is:** Cracking

**Results:** When minor cracks are in external walls, they are often considered to be an appearance defect, generally the cause may be expansion and contraction of the mortar due to environmental factors or it may be due to trees and their roots. Sometimes it can be due to poor insulation of the bricks when it was first laid. Recommend a Register Tradesman to repair this. Always monitor these cracks and if they should widen or become more numerous contact your building inspector.

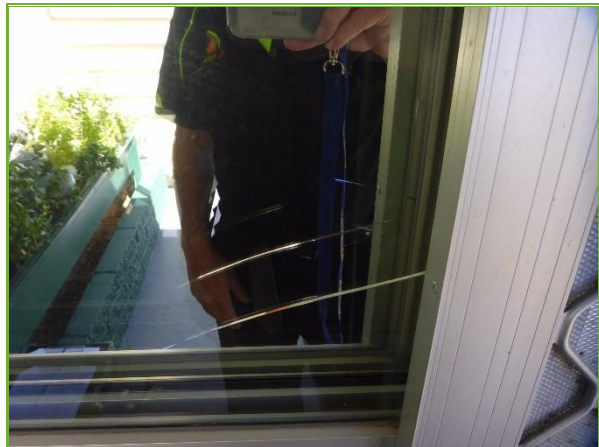


**Where it is:** External

**What it is:** Cracked Window.

**Results:** Cracking in windows may be caused by impact damage. Any cracked glass is a safety hazard and may allow water to penetrate into the surrounding building elements.

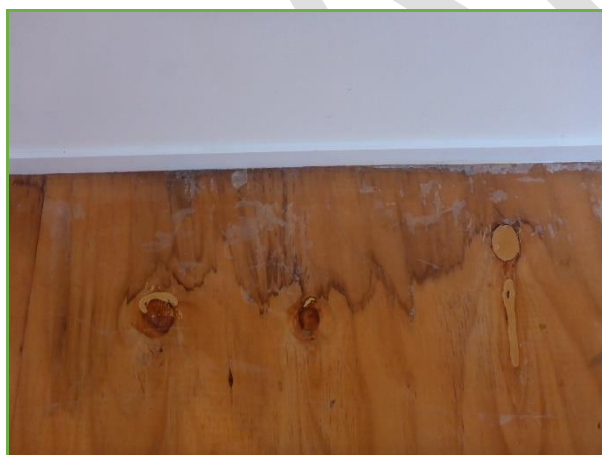
It is highly recommend that a qualified glazier repair or replace the broken or cracked glass. The above recommendations should be implemented straight away as a matter of urgency.



**Where it is:** Internal Bedroom Floor and Cupboard

**What it is:** Old water staining, dry at the time of inspection.

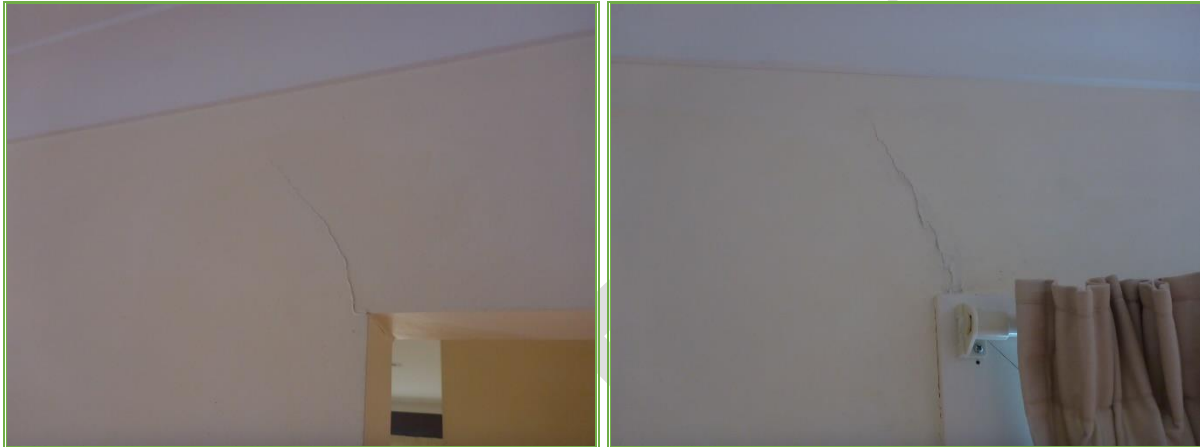
**Results:** Water staining indicates surfaces have been exposed to leaks over time. Where water damage is evident the primary requirement is to identify and rectify the source of the leak, the most critical factor is identifying the specific causes that have created these defects, and identifying if this is a recurring or ongoing problem or one that has been unresolved or resolved by the owner's actions in the past. Please be aware that linings when removed or replaced may reveal other currently concealed damage to the structures they are covering. A competent person is recommended to determine the method and the extent of any remedial work required, and associated costs and the extent of the damage behind the cover.



**Where it is:** Internal

**What it is:** Cracking

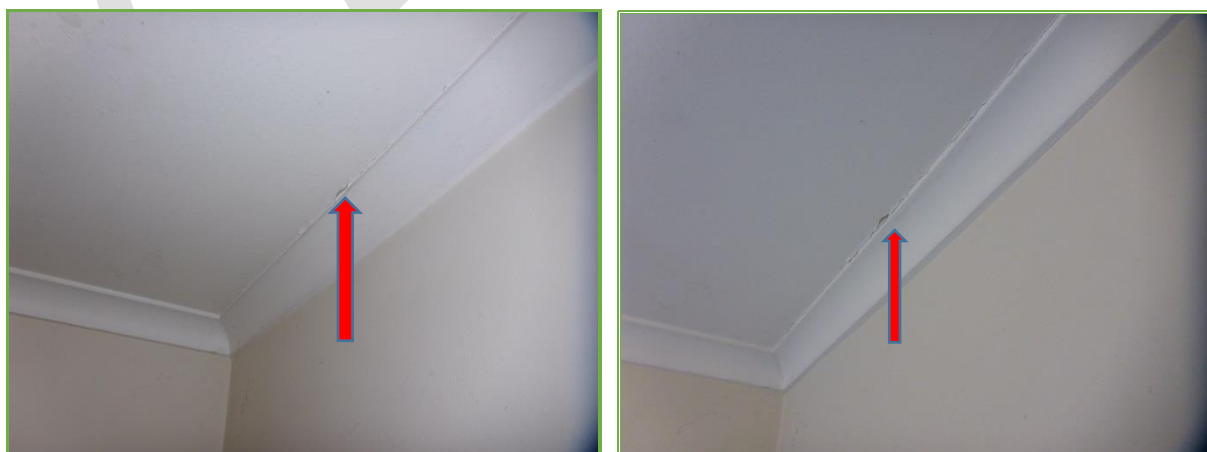
**Results:** When small localised cracks are noticeable, most times they are only an appearance defect and usually do not indicate that there is any structural damage. Generally, the cause is normal wear and tear over a period of time of the separation of building material and the paint and plaster along the joins. Always contact a building inspector should they become bigger or more numerous to further investigate. Cracking of this nature can be repaired with minor sanding and filling and repainting by a handyman or tradesman such as a painter. Always monitor these cracks and if they should widen or become more numerous contact your building inspector.



**Where it is:** Internal Bedroom

**What it is:** Flaky Paint

**Results:** Flaky or missing paint is normally just an appearance defect, it can also lead to deterioration of the building element as it is not sealed as it should be. Incomplete building elements can become affected by moisture which can then lead to conditions which can be conducive to structural damage. Incomplete painted areas should be painted to protect the underlying building element. Recommend a painting contractor to repair the painting. The above recommendations should be implemented as soon as possible.



**Where it is:** Internal Bathrooms and Kitchen

**What it is:** Grout/Sealant is inadequate,

**Results:** Over time sealant and or grout can become deteriorated without proper maintenance, and can cause the area not to be water tight and may allow water penetration in to adjacent walls or floors, which can cause conditions conducive to structural damage. Recommend tiling contractor to repair or replace grout or sealant. The above recommendations should be implemented as soon as possible.



**Where it is:** Internal Bedroom Window Sills

**What it is:** Weathered timber

**Results:** When timber is exposed to the environment such as the weather it can become deteriorated over a period of time and cause Fungal Decay to the timbers, and it is then can become conducive to termites. The removal or rectification of these timbers that are weathered or have become fungal decay is recommended to minimize the risk of termite attack and secondary defects that can become conducive to structural damage. Depending on the level of damage to the building element, depends on what trades are required. The above recommendations should be implemented as soon as possible.



**Where it is:** Internal Bathroom

**What it is:** Old repairs– appears to have an evidence of repairs

**Results:** When there is evidence of repairs, the most critical factor is identifying the specific causes that have created these defects, and identifying if this is a recurring or ongoing problem or one that has been unresolved or resolved by the owner's actions in the past. Please obtain from owner in writing as to why the property was repaired. Please be aware that linings when removed or replaced may reveal other currently concealed damage they are covering.



## Section E Conclusion

In the opinion of this Consultant:

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Below Average.

The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Below Average.

The report describes the overall extent of any minor defects and imperfections:

There are many Minor Defects. Monitoring and normal maintenance must be carried out (see also Section F 'Important note').

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Below Average Condition.

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

## Section F Important note

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

## Section G Other comments

### Suspected Asbestos

This suspected defect is highlighted as a caution only. We suspect based on our experience in the building industry that there is a higher risk of the building containing asbestos. The client is advised to act with caution especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.

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Where it is: All Areas  
What it is: Extra Photos



## Section H Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbook Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants'.

Authorised Signatory: *David Tacon*

Name: David Tacon Date of Issue: 7 October, 2016

SAMPLE