

This is a visual only Building Inspection & Report carried out in accordance with AS4349.0

Stage Fixing Stage REPORT (hereinafter called the "Report")

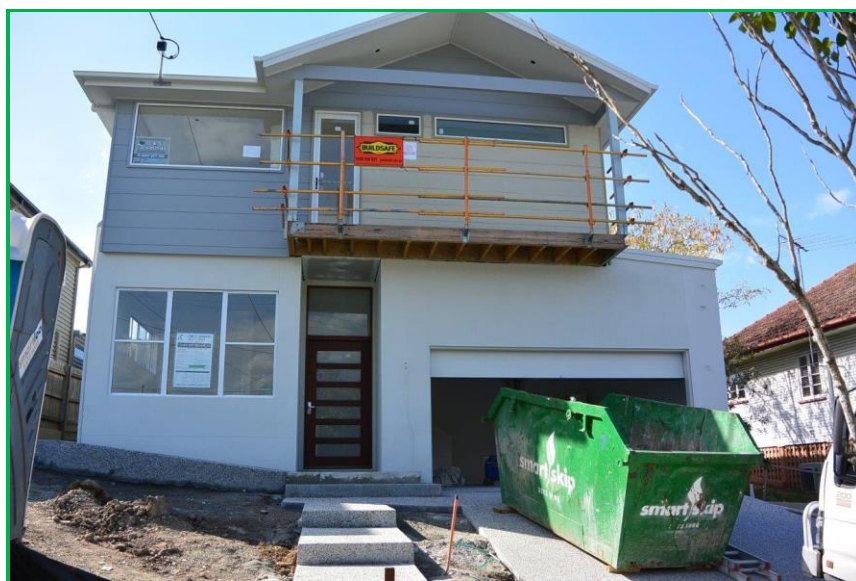


ALL INSPECT
All Building & Termite Inspections

Report Number 13318

Inspection Date: 9/07/2019

Property Address: Sample street



SERVICES

New Construction

Slab
Frame
Lock-Up
Handover
Warranty

ALLINSPECT
PO BOX 1104
Park Ridge QLD
Licence 535928
1300254677
ABN 66160880642

Pre-Purchase

Pre-Sale
Inspections
Building Reports
Termite Reports
General Reports

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Definitions to help you better understand this report

Terms on which this report was prepared

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Special conditions or instructions

The following apply: This is a sample so not all items are here sample only.

The parties

Report number:

Name of Client:

Building company

Address:

Client's email:

Client's telephone number:

Consultant's name:

David Tacon

Consultant's licence number

535928

Consultant's mobile number:

0421235310

Company name:

ALLINSPECT

Company address and postcode:

PO BOX 1104 Park Ridge 4125

Company email:

info@allinspect.com.au

Company telephone number:

32970345 1300 25 46 77

Section A Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

In summary the purpose of the inspection is to give advice regarding the condition of the property and site with a view to provide the builder with a list of items to be rectified to achieve compliance of a new construction that are within the Australian Standards and the National Construction code and Standards and Tolerances.

In summary the building is need of rectification to bring it up to a minimum standard for new construction

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

Section B General

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

Strata or company title properties

Not applicable.

General description of the property

Residential building type:	Detached house.
Number of storeys:	Two storey.
Orientation (to establish the way the property was viewed):	The façade of the building faces south. Note. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Prolonged dry spell.

Primary method of construction

Main building – floor construction:	Part suspended timber framed and slab-on-ground.
Main building – roof construction:	Timber Framed Colorbond

Section C Accessibility

Areas inspected

The inspection covered the Readily Accessible Areas of the property

Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects. Areas, which are not normally accessible, were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

Inaccessible areas

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection.

Section D Condition Report

The following items and matters were reported on in accordance with the Scope of Inspection.

D2: Structural defects

1. Substandard finished to the pointing on the tiles not workman like, and tiles are missing this will need rework before handover as marked.

Not in an appropriate, skilful way or with reasonable care and skill. We refer the builder to below: AS 2050, part 3.6 All must be in neat/regular appearance and uniform colour.

QBCC Standards and tolerances 7.5 Roof tile pointing

Unless documented otherwise, the absence of pointing where required by the BCA, *AS 2050 - Installation of Roof Tiles* or the contract is a defect. Within the first 12 months of completion of the work, pointing is defective if it becomes dislodged or washed out. Minor cracking of pointing is not a defect.

Within the first 12 months of completion of the work, pointing is defective if it is not uniform in colour, texture and trowelled off to provide a neat appearance. The rectification of pointing shall match the existing colour and texture as close as practicable.

Installation of roof tiles AS 2050

3.6 WORKMANSHIP

The cutting of tiles at ridges, hips, verges and valleys shall be neat and shall present a straight line. Tiles at ridges and hips shall extend under the capping by a sufficient distance to be weatherproof. Similarly, tiles shall overlap valleys by a sufficient distance to be weatherproof.

The bedding and pointing shall be weatherproof.

NOTES:

- 1 The pointing should be regular in appearance, and should have uniform colour and texture.
- 2 For durability purposes, the pointing should be trowelled off to provide a neat appearance.



- Tiles missing these will need to be installed as a matter of urgency with the weather raining.



2. The flashing is substandard. This will need to be rectified before handover.

QBCC Standards & Tolerances 7.1 Flashings and accessories

Completed flashings and accessories are defective if they leak under weather conditions anticipated by the BCA.

Inadequate construction of roof flashings such as cavity flashings, stepped flashings, parapet flashings, apron flashings and hip and valley flashings are a major cause of leaking roofs.

QBCC Standards & Tolerances 8.6 Flashings

Flashings are defective if they are not provided in accordance with the requirements of the BCA. Wall and step flashings, and sloping flashings cut into walls are defective if they do not incorporate weathering folds, anti-capillary breaks and sealing.

AS 2050—2002

6

1.4.2 Weather resistance

The completed roof shall be sufficiently free from defect or distortion to be weatherproof, and shall perform to at least the results obtained by the datum specimen when subjected to the dynamic weather resistance specified in AS 4046.9.

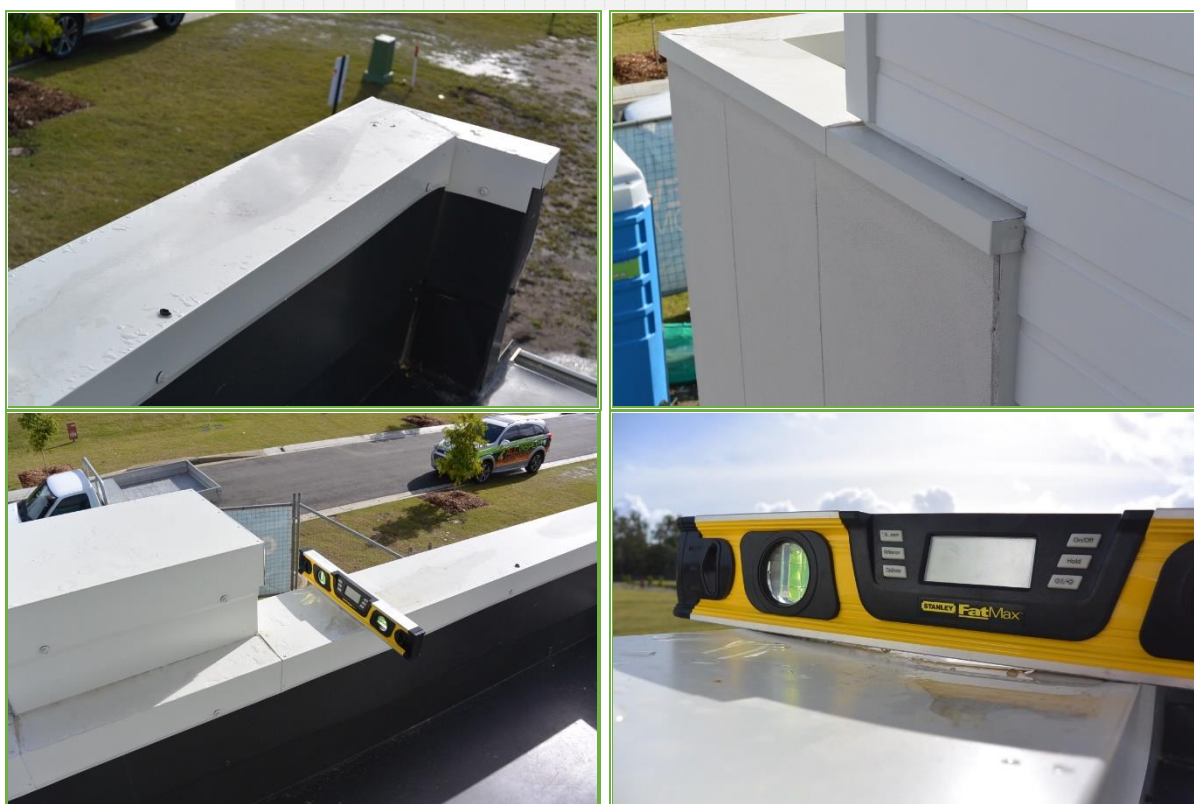
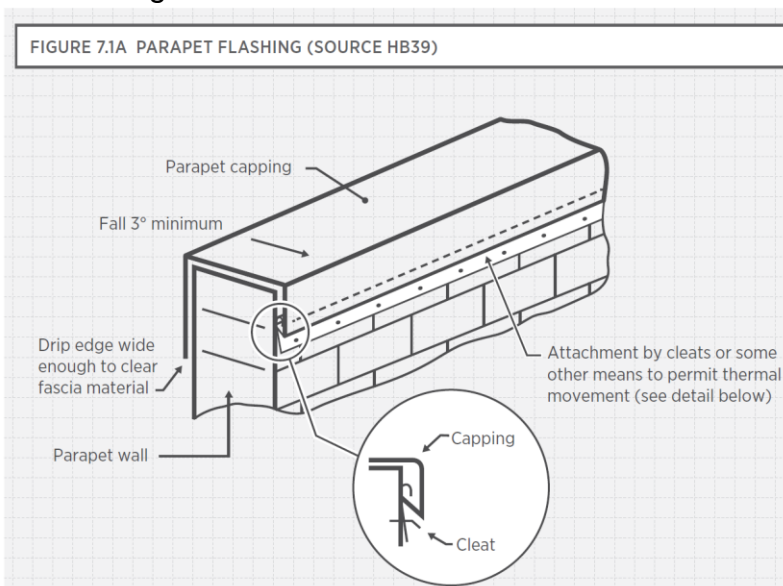


3. The parapet flashing is ponding water substandard installation has been installed concaved and the water is unable to drain away other areas have back fall. This will need to be rectified before handover.

QBCC Standards & Tolerances 7.1 Flashings and accessories

Completed flashings and accessories are defective if they leak under weather conditions anticipated by the BCA.

Inadequate construction of roof flashings such as cavity flashings, stepped flashings, parapet flashings, apron flashings and hip and valley flashings are a major cause of leaking roofs. A minimum fall of 3 degrees



4. The roof sheeting has marks, scratches, dents caused during the carrying out of building work. Roof sheeting are defective if they are dented or mark in the first 12 months of completion, this will need to be rectified. We refer the Builder to Below

QBCC Standards and Tolerances. 7.3 Roof cladding

Within 12 months from date of completion of the works, staining, folds, splits, dents, open joints between panels, cracking and other distortions in roof cladding, are defects if they are visible from a normal viewing position at ground level or an upper floor level,



5. Gap to external area needs to be sealed. This gap must be sealed as per the NCC FP1.4.

It must be rectified before handover as marked as this will cause undue dampness and deterioration which is conditions conducive to structural damage.

FP1.4

A roof and *external wall* (including openings around *windows* and doors) must prevent the penetration of water that could cause—

- (a) unhealthy or dangerous conditions, or loss of amenity for occupants; and
- (b) undue dampness or deterioration of building elements.



6. Door has excessive gaps; this will need to be reworked before handover. We refer the builder to the insert below.

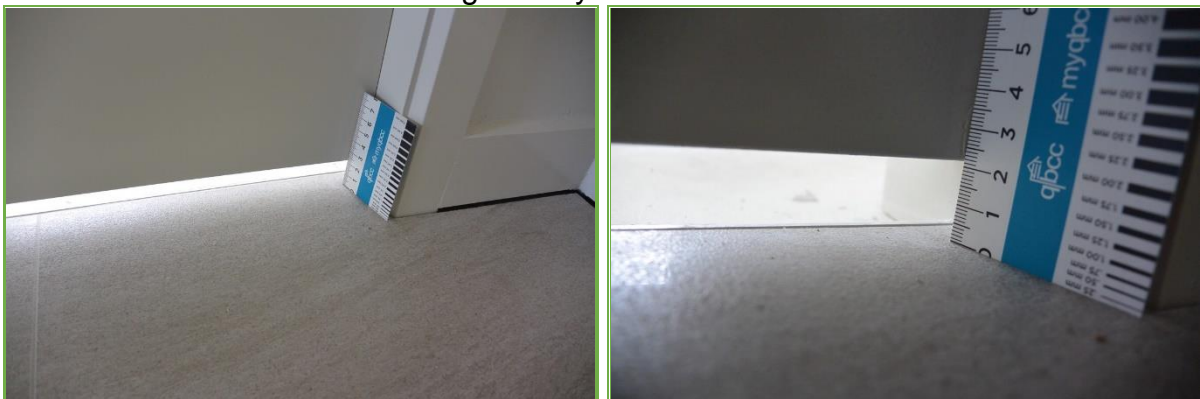
QBCC Standards and Tolerances 9.4 Internal door clearances

Within the first 12 months after completion and if not otherwise documented:

A clearance between door leaves or between a door leaf and the frame is defective if it is less than 2mm or greater than 4mm in width

Unless additional clearance is required for removable toilet doors or air ventilation, a clearance between the door and the floor finish is defective if it is greater than **15mm** after installation of the floor covering.

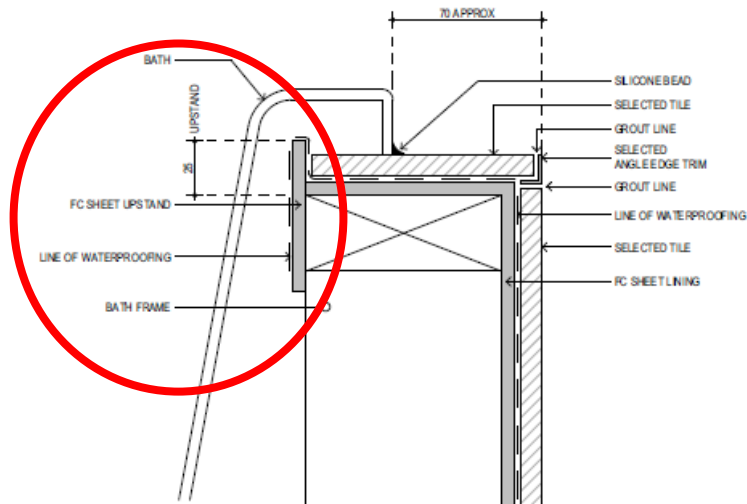
Note: Clearances under doors will generally be



7. It was noted at the time of inspection that the main bathroom bath waterproofing has not been installed as per plan have substituted ply for the vertical up stand instead F/C sheeting and finishing flush with the tile which should have a lip up above the tiles all needs to be rework as per plan and AS 3740

Model : Miami 335	Facade : SOMERSET	18	Construction (C9)		swell version	13/02/2019	Scale: as shown @ A3	Job No: K183
Client		17	Construction (C9)		swell version	10/01/2019	BATH HOB DETAILS Drawing Title: Drawing No. 865	REV. 18
D & H Soobrattry		16	Construction (C9)		swell version	04/12/2018		
Location		15	Construction (C9)		swell version	30/11/2018		
# 57 Beatrice Street,		14	Construction (C9)		abracadabrac	29/11/2018		
BARDON		13	Construction (C9)		swell version	19/11/2018		
		12	Construction (C9)		swell version	16/11/2018		
							Drawing No.	REV.
							865	18
		Rev	Issue	Description	Drawn By	Date		

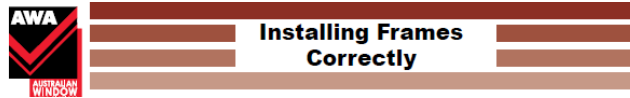
moning Pty. Ltd. P:\KALKA (NEW STRUCTURE)\03_Proj\K183 - 57 Beatrice Street, BARDON\3.2 Design\3.2.2_Drawing\3.2.2.2_Working Drawings\K183 - 57 Beatrice Street, BARDON\plan



BATH HOB EDGE DETAIL 1
SCALE 1/2"



8. It was noted at the time of inspection that the main bathroom window appears to be installed out plumb and level therefor the tiling around the window is now uneven this needs to be rectified. We refer the builder to Australian Window Association the insert below step 3.



1. Fit flashing to window surround as required.
2. Measure the frame opening to ensure that there is sufficient room for the product and additional packing.

Stud Opening:

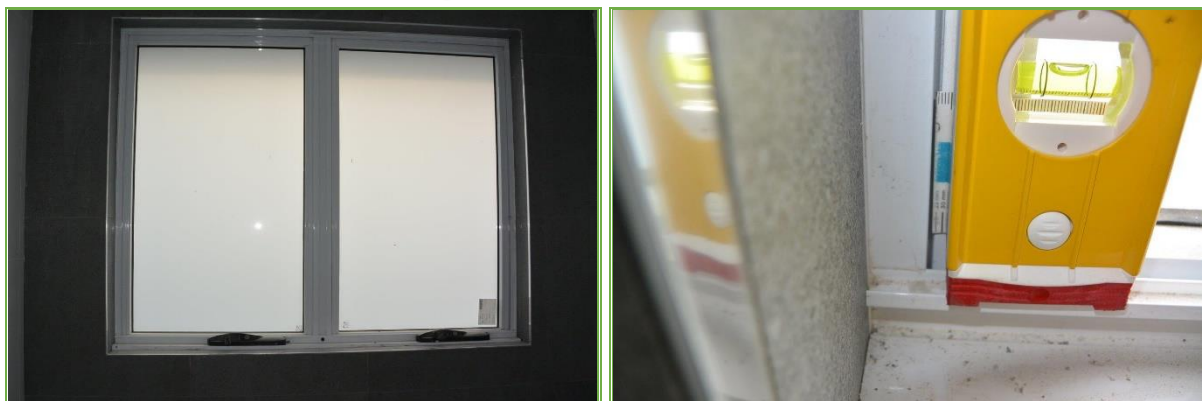
Height= O/A reveal size + adequate clearance

Width= O/A reveal size + adequate clearance

Clearance dimensions vary between manufacturer's products. For adequate clearance refer to window manufacturer's instructions.

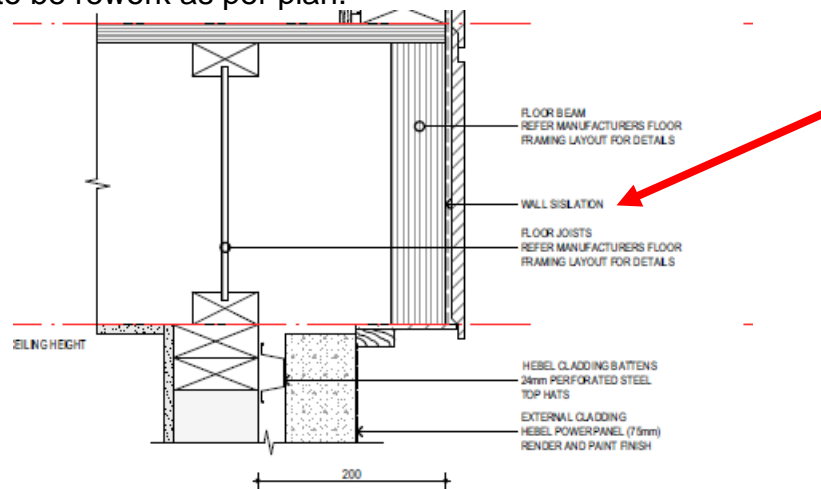
3. Frame must be packed plumb, square and not twisted between the openings. Ensure the sill is fully supported; failure to do so may result in sill roll on sliding windows. Sills on all windows and doors must be straight and level and should be packed and secured.
4. Secure aluminum windows by nailing through reveal in brick veneer applications. Timber windows should be secured by back nailing through stud, not face of frame stud. Alternatively, on cavity brick construction use galvanized building lugs located at 450mm maximum centres.
5. If it is not possible to backnail, wedges should be installed between the window and the building frame to prevent opening of the frame joints when nailing is carried out.
6. Keep sashes closed whilst installing frames.
7. Sill bricks should be at least 10 mm clear of window frame to allow settlement in brick veneer construction.
8. Do not stand on the windows or doors, or use them as a support for scaffolding, or slide material through the frame. It is important to prevent any damage to windows and doors during construction.
9. Do not permit weight of eaves or arch bars to bear on any window or door frame. **(Windows and doors are not load bearing)**
10. Remove cement mortar and plaster droppings from windows immediately, taking care to avoid scratching glass and, or frames, as permanent damage can result. Immediate attention must be given by washing off with water before material sets.

An Industry Guide to the Correct Installation of Windows and Doors © 2010 7





9. It was noted at the time of inspection that the main bathroom wall batts have been remove or missing this needs to be rework as per plan.



10. A few walls and ceilings exceed the allowable tolerance as marked, this will need to be reworked. We refer the builder to the insert below.

QBCC Standards & Tolerances 5.3 Straightness of timber frame surfaces

Within the first 12 months from completion of the work, frames are defective if they deviate from plane (horizontal or vertical bow) by more than 4mm in any 2m length of wall. Refer to Figure 1.3 A and B in this Guide for method of measurement. Frames that will be subject to the subsequent fixing of plasterboard must be such that when a 1.8m straight edge is placed over the wall frame the maximum deviation from the straight edge must not exceed 4mm over 90% of the area and not exceed 5mm over the remaining area. Within the first 12 months from completion of the work, frames that exceed these tolerances are defective. Refer Figure 5.3 which reproduces Table 5.2.2 from AS 2589.

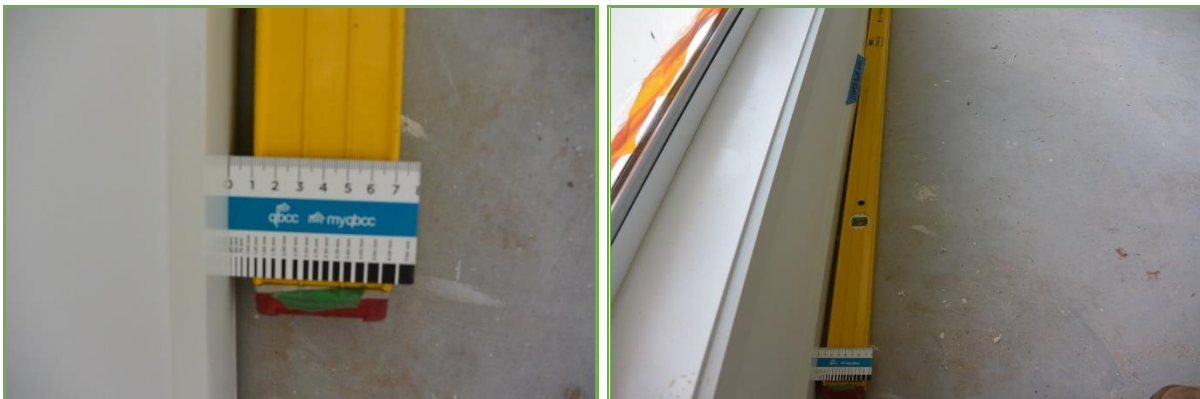
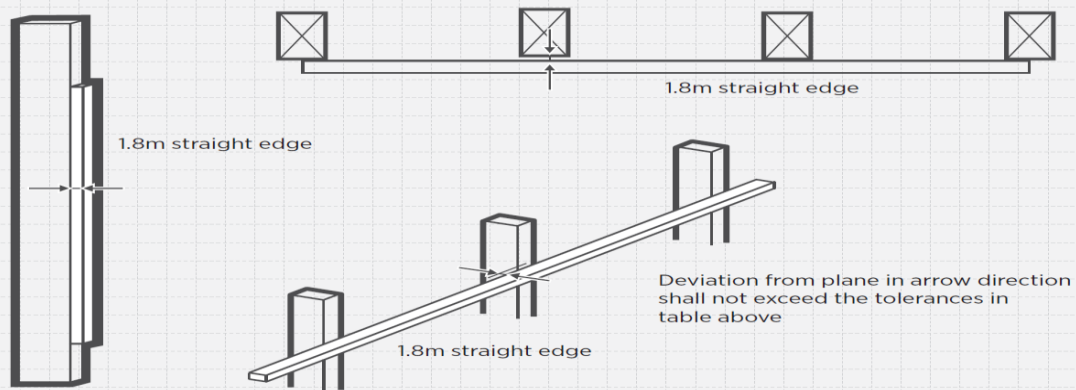


FIGURE 5.3 DEVIATION IN THE POSITION OF THE BEARING SURFACE OF THE FINISHED FRAMING CLASSIFICATION OF DAMAGE WITH REFERENCE TO WALLS

SUBSTRATE TYPE	LEVELS 3 AND 4		LEVEL 5	
	DEVIATION OF 90% OF AREA (MM)	DEVIATION OF REMAINING AREA (MM)	DEVIATION OF 90% OF AREA (MM)	DEVIATION OF REMAINING AREA (MM)
Steel and timber framing and battened masonry	4	5	3	4



Extract from AS2589 - Gypsum lining: Application and finishings⁵

⁵ Reproduced with permission from SAI Global Ltd under licence 1902-c082.



Section E Conclusion

In conclusion, following the inspection of surface work in the readily accessible areas of the property, our clients have requested that we place in writing a formal request that all items in this report are rectified. We refer the builder to the builder's own contract with our client which calls for the builder to act on ALL KNOWN DEFECTS. All items in this report are therefore brought to the builder's attention and are therefore known to the builder. We would suggest that the builder rework the dwelling so that it complies with the minimums set out in the BCA, the Australian Standard and all other relevant requirements. If the builder feels that we are in error, we request that they justify with a counter reference that would support that position and show cause why they do not have to rectify the defects found.

Section F Important note

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

Section G Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbook Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants'.

Authorised Signatory: *David Tacon*

Name: David Tacon Date of Issue: 26 August, 2019

Definitions to help you better understand this report

“Client” The person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

“Building Consultant” A person, business or company who is qualified and experienced to undertake a handover inspection in accordance with Australian Standard AS 4349.0-2007 ‘Inspection of Buildings. The consultant must also meet any Government licensing requirement, where applicable.

“Building & Site” The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

“Readily Accessible Areas” Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant’s unobstructed line of sight and within arm’s length.

“Structure” The loadbearing part of the building, comprising the Primary Elements.

“Primary Elements” Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term ‘Primary Elements’ also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

“Structural Damage” A significant impairment to the integrity of the whole or part of the Structure

“Conditions Conducive to Structural Damage” Noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

“Secondary Elements” Non-Structural: Those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

“Finishing Elements” The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term ‘Finishing Elements’ does not include furniture or soft floor coverings such as carpet and lino.

“Structural Defect” A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

“Non-Structural Defect” A defect other than a Structural Defect.

“Serious Safety Hazard” Any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Terms on which this report was prepared

SERVICE As requested by the Client, the inspection carried out by the Building Consultant ("the Consultant") was a 'Standard Property Report'. Process Report

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers and deals with any evidence of: Structural Defects in the condition of Primary Elements including Structural Damage and Conditions Conducive to Structural Damage; any Non-Structural Defects in the condition of Secondary Elements and Finishing Elements; collective (but not individual); and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

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LIMITATIONS

The Client acknowledges:

1. 'Visual only' inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings,

floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, render, pipe/duct work, builder's debris, vegetation, pavements or earth.

5. Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (xiii) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.