

This is a visual only Building Inspection & Report carried out in accordance with AS4349.1

## **Pre-Purchase REPORT** (hereinafter called the "Report")



**ALL INSPECT**  
All Building & Termite Inspections

**Inspection Date: 4/11/2020**

**Property Address: A15 Sample St Upper sample 4122**



### **SERVICES**

**New Construction**  
Slab  
Frame  
Lock-Up  
Handover  
6 Months Warranty

**ALLINSPECT**  
PO BOX 1104  
Park Ridge QLD  
Licence 15012225  
1300254677  
ABN 66160880642

**Pre-Purchase**  
Pre-Sale  
Commercial  
Rental Safety Reports  
Maintenance Reports  
Renovation Reports

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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

## Special conditions or instructions

The following apply: This is a Sample report, some things maybe different in other reports.

## The parties

Report number:	Sample
Pre-engagement inspection agreement number (if applicable):	was emailed.
Name of Client:	Mr Sample
Name of Principal (if applicable):	N/A
Address of Client:	Same as Above
Client's email:	sample@yahoo.com.au
Client's telephone number:	Sample
Company name:	ALLINSPECT 15012225
Company address and postcode:	PO BOX 1104 Park Ridge 4125
Company email:	info@allinspect.com.au
Company telephone number:	32970345      1300 25 46 77

## Section A Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

In respect of significant items:

Evidence of Serious Safety Hazards was observed - see Section D, Items D1.

Evidence of Major Defects was observed - see Section D, Items D2.

Evidence of Minor Defects was observed - see Section D, Items D3

### Strata or company title properties

Not applicable.

SAMPLE

### General description of the property

Residential building type:	Detached house.
Number of storeys:	Single storey.
Building age (approx):	The building 1950+
Smoke detectors: Safety Switch:	Smoke detectors and Safety Switch  IMPORTANT NOTE The adequacy and testing of smoke detectors and safety switch is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.
Site drainage:	The site appears to be poorly drained.
Occupancy status:	Occupied and fully furnished.
Orientation (to establish the way the property was viewed):	Note. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Dry. Fine
Other:	

### Primary method of construction

Main building – floor construction:	Part suspended timber framed and slab-on-ground.
Main building – wall construction:	Timber framed. Cladded and Render, Brick Veneer.
Main building – roof construction:	Timber framed. Tiles
Overall quality of construction and materials for building:	Acceptable.
Overall quality of construction and materials for other structures	Acceptable.
Level of maintenance:	Poorly maintained.

## Section D Condition Report

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this Condition Report, monitoring and normal maintenance must be carried out (see also Section F 'Important note').

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

### D1: Serious safety hazards

**Where it is:** Internal

**What it is:** Windows have no restrictors, this is a safety hazard.

**Results:** At the time of inspection some of the windows do not have the restrictors on them. These items are a potential safety hazard and needs to be addressed. A window opening must be provided with protection, if the floor below the window in a bedroom is 2 m or more above the surface beneath. The above recommendations should be implemented straight away as a matter of urgency.





**Where it is:** External

**What it is:** Pool area appears to be non-complaint.

**Results:** Commenting on compliance with Legislation and Local Laws is outside the scope of this Report so this defect is noted for your information advice and further action. Maintenance of the pool area and its fixings is urgently required. It represents an urgent and serious safety hazard if left unattended. Recommend a pool certifier to determine the method and the extent of any remedial work required and costs.



**Where it is:** Internal

**What it is:** Cooktop cracked, this may be a safety hazard.

**Results:** Damage occurs generally when building elements have either aged or decayed or as a result of impact damage (accidental or deliberate). Recommend an Electrician to further investigate. The above recommendations should be implemented straight away as a matter of urgency.

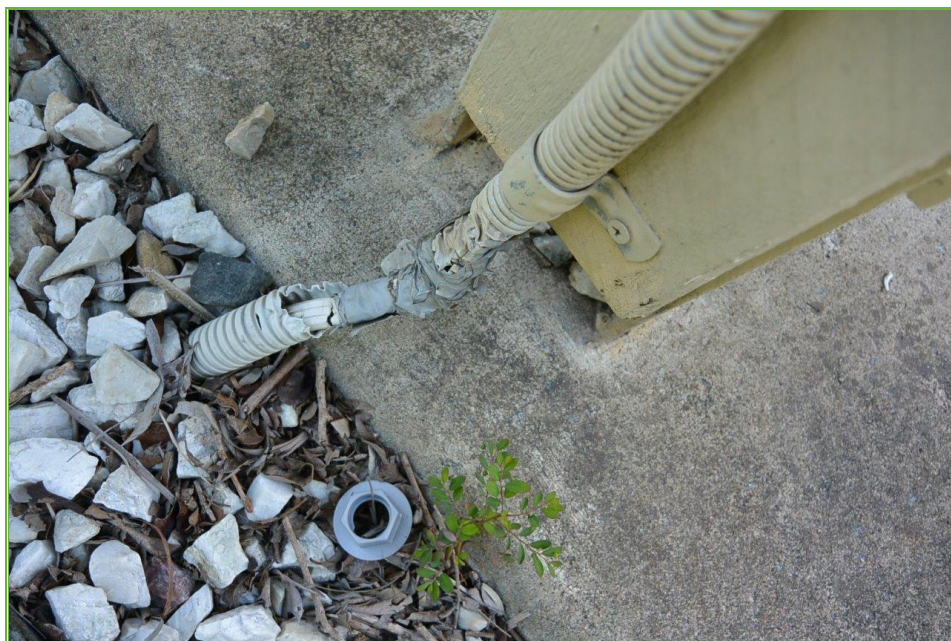


**Where it is:** External

**What it is:** Conduit damaged, this is a safety hazard.

**Results:** The conduit in this area was found to be deteriorating at the time of inspection. Reporting on electrical is outside of the scope of this report so this is noted for further investigation from a competent person.

Recommend an Electrician to further investigate. The above recommendations should be implemented straight away as a matter of urgency.



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**Where it is:** Internal

**What it is:** Smoke detectors appear to be disconnected

**Results:** This is a safety requirement. The adequacy and testing of fire safety equipment is outside the scope of this standard inspection and report. It is strongly recommended that a further inspection be undertaken by a suitably qualified person.





## D2: Major defects

## D2.1 Roof

**Where it is:** External Roof

**What it is:** Cracked/Broken Tiles.

**Results:** Broken or cracked tiles are the result of aging and the weather as well. If left (Not repaired or replaced) the broken/cracked tiles may allow water to enter into the roof void causing damage to the ceiling lining and may cause damage to the roof structure, which can lead to conditions that are conducive to structural damage. Recommend a roof contractor to further investigate and repair the roof as soon as possible.

The above recommendations should be implemented as soon as possible.

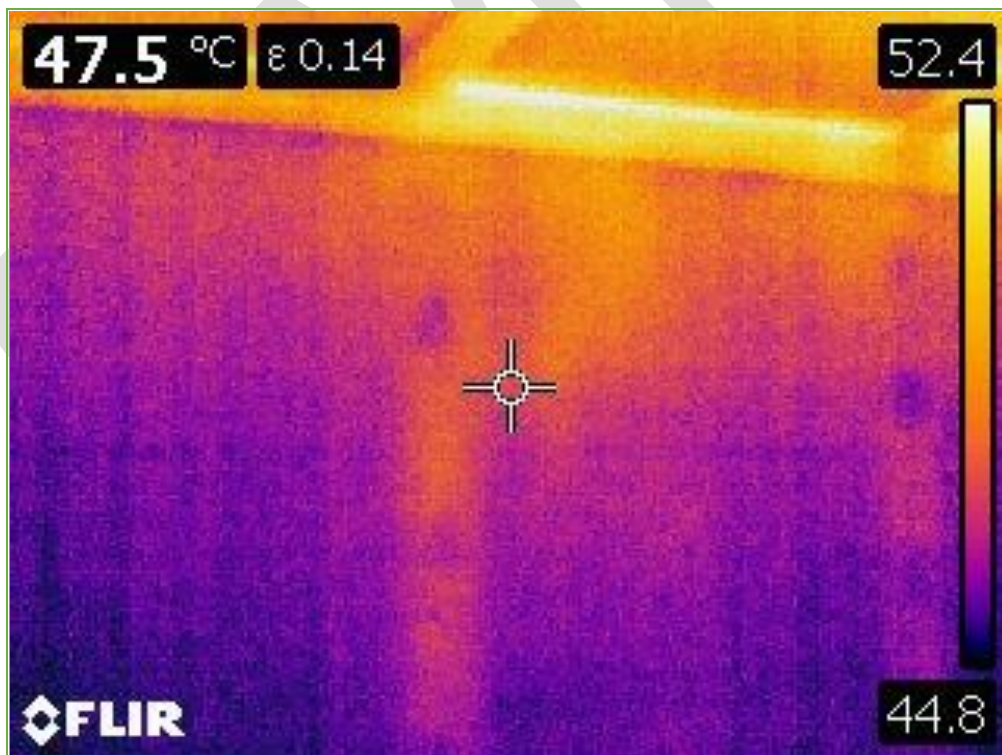


## Major Defects

**Where it is:** Widespread.

**What it is:** Termite damage and live or a nest of termites or high moisture with thermal.

**Results:** Further inspection of external and internal areas may be required in order to correctly identify the damage by termites and may include works of an intrusive nature. It is strongly recommended that a Licensed Builder ascertain the structural integrity and the extent of the unknown damage that may be concealed. It is also recommended that a Licensed Pest Company advise the treatment or method that should be carried out. The above recommendations should be implemented as soon as possible.





**Where it is:** Roof Void

**What it is:** Water leak – active

**Results:** As the surrounding area was found to be damp at the time of inspection the leak is ongoing and requires urgent action. If left, not repaired it can cause damage to the ceiling lining and may cause damage to the roof structure, which can lead to conditions that are conducive to structural damage. Recommend a roof contractor to further investigate the leak and repair the roof as soon as possible. The above recommendations should be implemented as soon as possible.



**Where it is:** Some areas.

**What it is:** Ceiling –Sagging

**Results:** Sagging to the ceiling generally indicates that the building materials have swollen due to contact with water or that fixings, nails, or glue have become loose and require reattachment. In some cases, sagging ceiling linings may also indicate that there are structural issues causing surfaces to warp twist or sag. Where sagging appears to be major appointment of a structural engineer is advised to further inspect the property. A Licensed Tradesmen is recommended to determine the method and the extent of any remedial work required, and associated costs and the extent of the damage behind the ceiling cover.





**Where it is:** A few areas

**What it is:** Under cover area is loose, structure is defective.

**Results:** The primary structures are showing signs of deterioration as a result of damp conditions (wood rot) and rusty bolts which has created the loss of strength, which may cause the structure to fail and collapse. A Licensed Builder is recommended to determine the method, cost and the extent of any remedial work required and to determine the structural integrity of the structure. The above recommendations should be implemented as soon as possible as this is a safety hazard.



**Where it is:** External meter box

**What it is:** Council sticker saying not approved.

**Results:** The house may not be certified this will require further investigation by a legal person to determine if this property has been certified or not. Reporting on compliance is outside the scope of this standard inspection and report.





**Where it is:** Some areas.

**What it is:** The tank and HWS, plumbing is defective it appears to be leaking.

**Results:** This could be detrimental to the performance of the system and the rainwater tank. It is conditions conducive to termites as well. Recommend a Competent Person to determine the method and the extent of any remedial work required, and associated costs. The above recommendations should be implemented as soon as possible.



**Where it is:** Widespread

**What it is:** Wood Rot to the structure, nails popping through

**Results:** The structures are showing signs of deterioration as a result of damp conditions which has created the timbers to rot. Regular maintenance of the timbers is required to prolong the life of this building element which may include but not limited to (Painting, sealing)  
Recommend to first identify the cause of the timber rot, then replace the affected timber where required, the timeframe for this depends on the severity of the rot. Recommend a Competent Person to determine the method and the extent of any remedial work and costs. The above recommendations should be implemented as soon as possible.







**Where it is:** A few areas

**What it is:** Damage fittings.

**Results:** The adequacy and testing of electricity is outside the scope of this standard inspection and report. Recommend a competent person like a Licensed Electrician to determine the method or work required and associated costs.

The above recommendations should be implemented straight away as a matter of urgency.



**Where it is:** Widespread.

**What it is:** High Moisture and evidence of leaking and water damage.

**Results:** High Moisture was noted in wall, which can cause conditions conducive to structural damage. Under test conditions it was revealed that high moisture was evident in the secondary wall adjacent to the shower. Damp or wet conditions generally indicate a leak or poor ventilation, or failure of the waterproofing. Recommend a Plumber, to determine the cause and the method. The above recommendations should be implemented as soon as possible.





**Where it is:** Internal All Toilets

**What it is:** Toilets leaking – active.

**Results:** As the surrounding area was found to be damp at the time of inspection the leak is ongoing and requires urgent action as it can cause conditions conducive to structural damage. Regardless of the location if left unmanaged leaks can lead to serious damage of associated building elements and result in the need for replacement of building materials. Mould and other hazards such as electrical hazards may also arise if left unmanaged. A licensed plumber should be appointed to further investigate the leak. The above recommendations should be implemented as soon as possible.



## D3: Minor defects

**Where it is:** External Roof

**What it is:** Gutters & Valleys blocked with debris (leaf litter)

**Results:** When you have blocking of the gutters/valleys and downpipes, they may lead to pooling of water and water may overflow into the eaves and exterior walls causing secondary defects, which can lead to conditions that are conducive to structural damage. Also the pooling of water can cause the gutters/valleys to rust and it also provides conditions that are conducive to termites. Recommend a licensed roof plumber for advice if there is significant damage to the general handyman to remove leaf litter and clean gutters/valleys.

The above recommendations should be implemented as soon as possible.

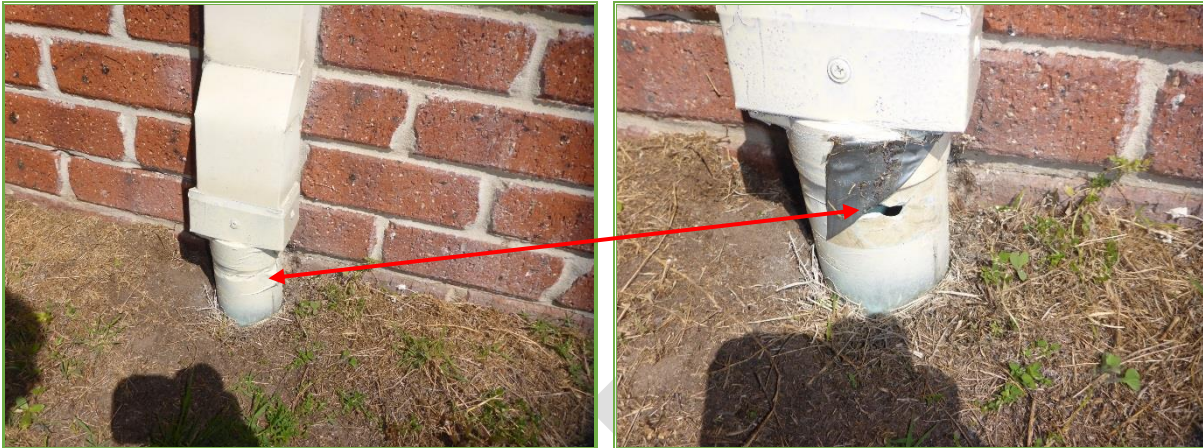




**Where it is:** Some Areas.

**What it is:** Plumbing not adequately connected.

**Results:** Plumbing is not adequately connect to drainage which can cause conditions conducive to structural damage. When the roof plumbing does not drain adequately, the area can become quite damp and may lead to conditions conducive to structural damage, and it is also an environment that is conducive to termites. Recommend a plumber to repair or replace damage or missing roof plumbing. The above recommendations should be implemented as soon as possible.



**Where it is:** Some areas.

**What it is:** Cracking/gaps

**Results:** When minor cracks are in external walls, they are often considered to be an appearance defect, generally the cause may be expansion and contraction of the mortar due to environmental factors or it may be due to trees and their roots. Sometimes it can be due to poor insulation of the bricks when it was first laid. Recommend a Register Tradesman to repair this. Always monitor these cracks and if they should widen or become more numerous contact your building inspector.

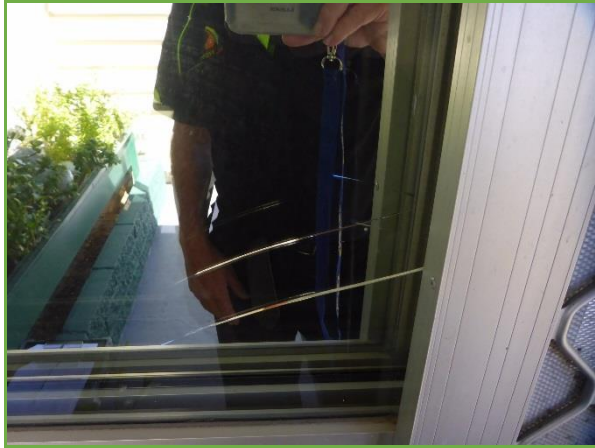


**Where it is:** A few areas.

**What it is:** Cracked Windows.

**Results:** Cracking in windows may be caused by impact damage. Any cracked glass is a safety hazard and may allow water to penetrate into the surrounding building elements.

It is highly recommend that a qualified glazier repair or replace the broken or cracked glass. The above recommendations should be implemented straight away as a matter of urgency.

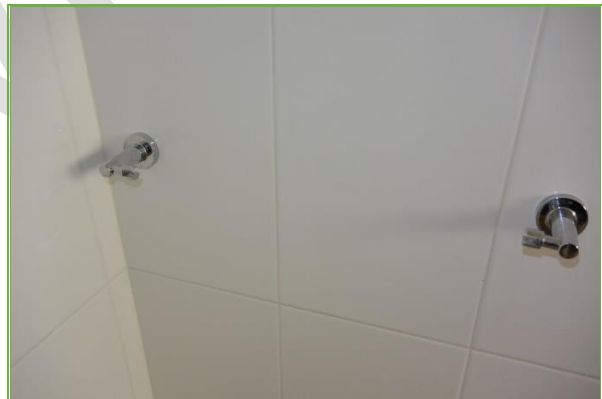


**Where it is:** Some areas.

**What it is:** Shelves are missing and a few doors are binding/stiff.

**Results:** Although some building elements may seem irrelevant or unnecessary all building elements have a purpose in the overall function and performance of that building element.

Recommend to rectify the defective building element, so as to have it fully functional as it is intended.

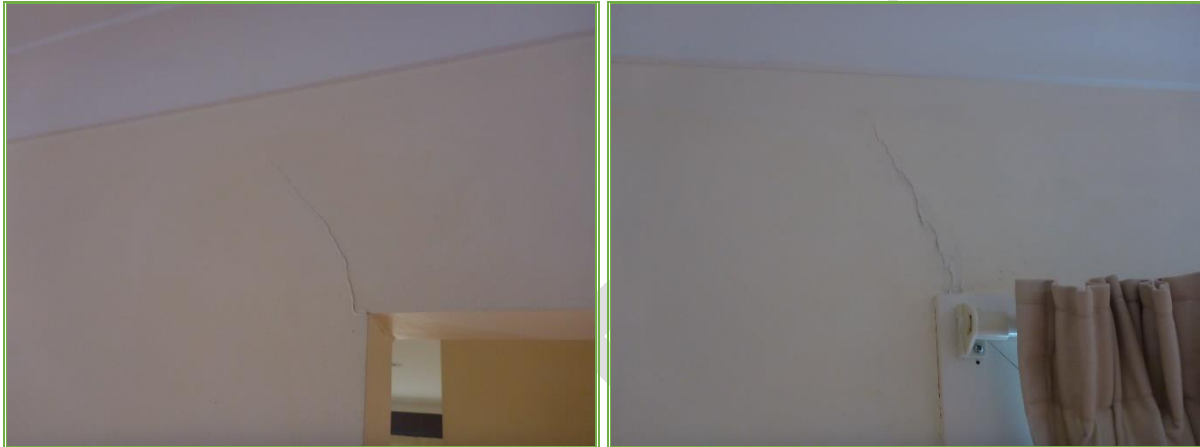




**Where it is:** Some areas

**What it is:** Cracking, sagging ceilings.

**Results:** When small localised cracks are noticeable, most times they are only an appearance defect and usually do not indicate that there is any structural damage. Generally, the cause is normal wear and tear over a period of time of the separation of building material and the paint and plaster along the joins. Always contact a building inspector should they become bigger or more numerous to further investigate. Cracking of this nature can be repaired with minor sanding and filling and repainting by a handyman or tradesman such as a painter. Always monitor these cracks and if they should widen or become more numerous contact your building inspector.



**Where it is:** Some areas.

**What it is:** General wear and tear, overgrown vegetation, normal maintenance to be carried out.

**Results:** General wear and tear over time building elements can become loose, deteriorated, leak and then there is swollen, splitting, Fungal Decay to the timbers, rust to the metals, corrosion, flaky paint, deteriorated grout/sealant, leaking plumbing fittings and it then can become conducive to structural damage and conducive to termites if normal maintenance is not carried out. Depending on the level of damage to the building element, depends on what trades are required. Competent Person is recommended to determine the method and the extent of any remedial work and costs. The above recommendations should be implemented as soon as possible.





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**Where it is:** Some areas.

**What it is:** Old repairs— appears to have an evidence of repairs

**Results:** When there is evidence of repairs, the most critical factor is identifying the specific causes that have created these defects, and identifying if this is a recurring or ongoing problem or one that has been unresolved or resolved by the owner's actions in the past. Please obtain from owner in writing as to why the property was repaired. Please be aware that linings when removed or replaced may reveal other currently concealed damage they are covering.



**Where it is:** A few areas.

**What it is:** Fitting or fixture non-operational.

**Results:** The range-hood light and toilet was found to be not operating correctly at the time of inspection. The adequacy and testing of appliances are outside the scope of this standard inspection and report. Recommend a competent person like a Licensed Electrician to determine the method or work required and associated costs.

The above recommendations should be implemented straight away as a matter of urgency.



**Where it is:** A few areas

**What it is:** Damage switches and soap holder .

**Results:** Although some building elements may seem irrelevant or unnecessary all building elements play a key role in the operation and function of the overall structure and its performance. Replacement of any damage building element should be conducted as soon as possible. Depending on the building element which is damage, depends on what trades are responsible for such works, which may include but not limited to, plumber, electrician, builder or general handyman.





## Section E Conclusion

In the opinion of this Consultant:

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Below Average.

The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Below Average.

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Below Average Condition.

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

## Section F Important note

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

## Section G Other comments

## Section H Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbook Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants'.

Authorised Signatory: *David Tacon*

Name: David Tacon Date of Issue: 21 January, 2020