

This is a visual only Building Inspection & Report carried out in accordance with AS4349.0

## **Defect Document REPORT** (hereinafter called the "Report")



**ALL INSPECT**  
All Building & Termite Inspections

**Report Number** 15903 Time:8:00 AM

**Inspection Date:** 2/03/2022

**Property Address:** Lot Sample



### SERVICES

New Construction

Slab  
Frame  
Lock-Up  
Handover  
Warranty

ALLINSPECT  
PO BOX 1104  
Park Ridge QLD  
Licence 15012225  
1300254677  
ABN 66160880642

Pre-Purchase

Pre-Sale  
Inspections  
Building Reports  
Termite Reports  
General Building Reports

## The parties

Report number:	15903 Time:8:00 AM
Name of Client:	Mr Sample
Name of Supervisor	Phone
Building company	Sample builders Phone 00000
Address of Property:	Lot Sample
Client's email:	sample@gmail.com
Client's telephone number:	000000000
Company name:	ALLINSPECT Licence 15012225
Company address and postcode:	PO BOX 1104 Park Ridge 4125
Company email:	info@allinspect.com.au
Company telephone number:	32970345

## Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

The purpose of the inspection is to give advice regarding the condition of the property and site with a view to provide the builder with a list of items to be rectified for a new building that are within the Australian Standards and the National Construction code and the QBCC Standards and Tolerances.

In summary, the building is need of rectification to bring it up to a minimum standard for new construction and has **Not** reached Practical Completion Stage.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section F "Important Note".

### General description of the property

Residential building type:	Detached house.
Number of storeys:	Two storey.
Smoke detectors:	Smoke Detectors and Safety Switch
Safety Switch:	IMPORTANT NOTE The adequacy and testing of smoke detectors and safety switch is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.
Prevailing weather conditions at the time of inspection:	Dry.

### Primary method of construction

Main building – floor construction:	Part suspended timber framed and slab-on-ground.
Main building – wall construction:	Brick Veneer, Timber Frame, Cladded, Render
Main building – roof construction:	Timber Frame Colorbond

### General Information:

#### **Schedule 1B of the Queensland Building and Construction Commission Act 1991 ('QBCC Act').**

Practical completion' means the day when the subject work is completed –

- In compliance with the contract, including all plans and specifications for the work and all statutory requirements applying to the work; and
- Without any defects or omissions, other than minor defects or minor omissions that will not unreasonably affect occupation; and
- If the building owner claims there are minor defects or minor omissions- the building contractor gives the building owner a defects document for the minor defects

There are some areas with substandard works they will all need rework before handover see below section C. Not in an appropriate, skilful way or with reasonable care and skill listed below:

#### **Section 24 Schedule 1B of the Queensland Building and Construction Commission Act 1991 ('QBCC Act').**

##### **Division 2—Implied warranties for all contracts**

##### **Standard of work and exercise of care and skill**

44. The building contractor warrants the subject work will be carried out—

- in an appropriate and skilful way; and
- with reasonable care and skill.

**Section C: Condition Report: Defects found below recorded**

1. The roof cladding has dents/marks caused during the carrying out of building work. Roofs and Guttering are defective if they are dented or mark in the first 12 months of completion, this will need to be rectified. We refer the Builder to Below

**QBCC Standards and Tolerances. 7.3 Roof cladding**

Within 12 months from date of completion of the works, staining, folds, splits, dents, open joints between panels, cracking and other distortions in roof cladding, are defects if they are visible from a normal viewing position at ground level or an upper floor level,

Roof cladding and/or flashings screws and other fixings are defective if they do not comply with the corrosion resistance provisions of the BCA for the exposure conditions of the site.

Roof cladding and/or flashings, screws and other fixings are defective if they have not been installed in accordance with the requirements of the BCA and manufacturer's installation instructions.



2. The flashing needs to be installed in a few areas to the roof and walls before handover excessive gaps.

#### QBCC Standards & Tolerances 7.1 Flashings and accessories

Completed flashings and accessories are defective if they leak under weather conditions anticipated by the BCA.

Inadequate construction of roof flashings such as cavity flashings, stepped flashings, parapet flashings, apron flashings and hip and valley flashings are a major cause of leaking roofs.

#### QBCC Standards & Tolerances 8.6 Flashings

Flashings are defective if they are not provided in accordance with the requirements of the BCA. Wall and step flashings, and sloping flashings cut into walls are defective if they do not incorporate weathering folds, anti-capillary breaks and sealing.



3. Gaps to external areas all will need to be sealed. Seal around the vents. These gaps to some of the external areas all must be sealed as per the NCC P2.2.2 as marked.

All must be rectified before handover as marked as this will cause undue dampness and deterioration which is conditions conducive to structural damage.

#### P2.2.2 Weatherproofing

A roof and *external wall* (including openings around *windows* and doors) must prevent the penetration of water that could cause—

- (a) unhealthy or dangerous conditions, or loss of amenity for occupants; and

#### Performance Provisions

#### P2.2.2

- (b) undue dampness or deterioration of building elements.



4. The Articulation or Control Joints, have non-compressive material (Render) in the joints that need to be removed and are not going all the way through the sill openings. This will need to be rectified.

**NCC 2019:** - Articulation Joints (AJ's) between masonry elements must have a width of not less than 10mm. This width needs to be maintained beside window and door frames.

The Articulation Joints beside windows and doors fail to meet this requirement.

### 3.3.5.13 Vertical articulation joints

- (a) Vertical articulation joints must be provided in masonry veneer walls in accordance with (b), except in walls constructed on [sites](#) where the soil classification is A or S (see [Part 3.2.4](#)).

#### Explanatory information:

For the purposes of [3.3.5.13](#), the vertical articulation joint also performs the function of a contraction or expansion joint.

- (b) Articulation joints between masonry elements must have a width of not less than 10 mm and be provided (see [Figures 3.3.5.3, 3.3.5.4 and 3.3.5.5](#))—
- (i) in straight, continuous walls having no openings — at not more than 6 m centres and within 4.5 m, but not closer than 470 mm of all corners; and
  - (ii) in straight, continuous walls with openings more than 900 x 900 mm — at not more than 5 m centres and located so that they are not more than 1.2 m away from openings; and

**AS 4773.2; clause 7.1:** - Articulation joints shall be clear of hard and non-compressible substances.

This homes articulation joints require cleaning prior to sealing in order to meet this requirement.

## 7.1 GENERAL

All hard and incompressible substances (e.g. mortar dags) shall be removed from the gap in articulation and expansion joints.

### QBCC Standards & Tolerances 4.3 Articulation in masonry walls

Masonry work is defective if articulation and movement control joints have not been provided as required by Australian Standards AS2870, AS3700, or the contract. Articulation joints are defective if they do not comply with the following:

- be free of mortar
- be vertical and not toothed unless tothing is specifically considered in the design
- extend the full height of the masonry but may be omitted below the damp-proof course (DPC) if there is not more than 600 mm of masonry below the DPC at the position of the joint
- the material used to fill the joint must be of a type that does not inhibit the performance of the joint
- be sealed with a suitable flexible sealant to match the colour of the adjacent masonry.



5. Substandard finished to the render in some areas, not finished to the edge, short, cracking, blemishes. This will need rework before handover as marked. Not in an appropriate, skilful way or with reasonable care and skill.

**QBCC Tolerance & Standards 10.2 Cracking and other blemishes in external rendered surfaces on masonry substrate**

Within the first 12 months after completion of the work, obvious spot rust marks, due to the composition of the material and other blemishes, are defects if they are visible from a normal viewing position.



6. Ground levels, surface water drainage inadequate can cause water to lay against the footings. This must be rectified regardless of if the owner is doing the landscaping or not. As per 3.1.2.3 BCA and the QBCC Standards & Tolerances. (Structural)

### QBCC Standards & Tolerances 2.3 Site Drainage

Surface water is required to be directed away from the building and shaped to prevent ponding of water near or against the footings. Part 3.1.3.3 of the BCA provides minimum surface water drainage requirements. In Queensland *AS 2870 Residential Slabs and Footings* is widely used as an acceptable construction manual.

Site drainage requirements must comply with the *AS 2870* provisions and any relevant engineer design. Site drainage will be defective if it is not in accordance with the above requirements.

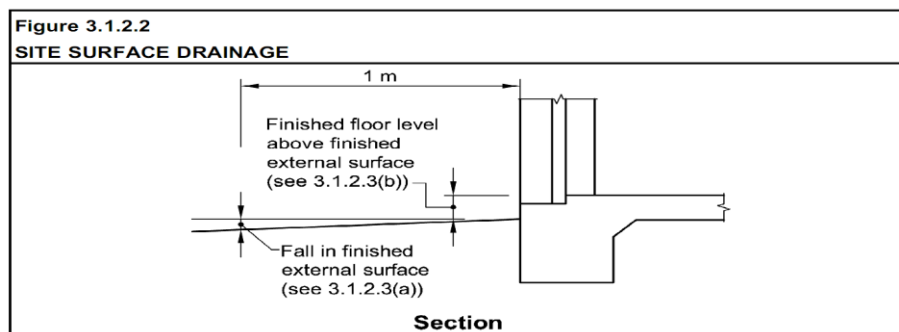
#### 3.1.2.3 Surface water drainage

*Surface water* must be diverted away from Class 1 buildings as follows:

- (a) Slab-on-ground — finished ground level adjacent to buildings:

the external finished surface surrounding the slab must be drained to give a slope of not less than (see [Figure 3.1.2.2](#))—

- (i) 25 mm over the first 1 m from the building in *low rainfall intensity areas* for surfaces that are reasonably impermeable (such as concrete or clay paving); or
- (ii) 50 mm over the first 1 m from the building in any other case.





7. Brick over-hang. The brick overhang to the house needs to be supported this will need to be rectified.

The BCA, part 3.2.2.7 calls for a maximum overhang of 15 mm. All must be reworked and supported in accordance with AS 2870 prior to handover.

### 3.2.2.7 Edge rebates

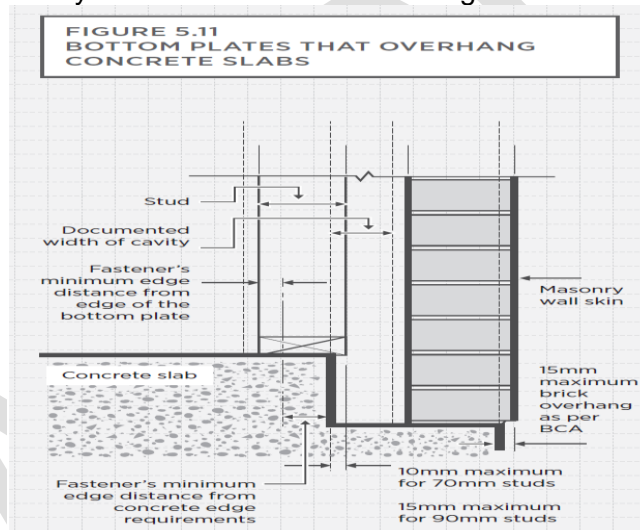
Edge rebates for slab-on-ground, stiffened raft or *waffle raft* with masonry *cavity* or veneer construction must comply with the following:

- The rebate must not be less than 20 mm, except as provided for in (d).
- Exterior masonry must not overhang more than 15 mm past the edge of the slab.
- The edge rebate must be flashed and drained in accordance with **Part 3.3.4** and where it cannot be flashed it must be filled with mortar.

### QBCC Standards & Tolerances 4.17 Masonry that overhangs concrete slabs

Within the first 12 months from completion of the work, the installation of a masonry course is defective if it is laid on a concrete slab or strip footing so as to project over the edge of the slab or footing by more than 15mm. Refer to Figure 5.11 in this Guide.

Within 6 years and 6 months from completion of the work, masonry that overhangs concrete slabs is defective if it projects over the edge of the slab or footing by more than 15mm and as a result compromises the structural adequacy of the wall or building, allows water penetration into the building or compromises the health and safety of those who use the building.



- Substandard finish on the cladding with many distortions' many areas require re-painting, gaps, open joints, holes and marks, under and over driven nails, this will need to be rectified before handover. Not in an appropriate, skilful way or with reasonable care and skill.

**QBCC Standards & Tolerances 6.2 Wall cladding**

Within the first 12 months of completion of the work, staining, folds, splits, dents, open joints between panels, cracking and other distortions in wall cladding, are defects if they are visible from a normal viewing position at ground level or an upper floor level. Within 6 years and 6 months from completion of the work, the wall cladding is defective if it compromises the structural adequacy of the wall or building, allows water penetration into the building or compromises the health and safety of those who use the building.

## 9 DETAILS

**NOTE:** All James Hardie CAD details including James Hardie product BIM content can be downloaded at [www.accel.com.au](http://www.accel.com.au)

**9.1 GENERAL**

This section contains general details relating to the use of James Hardie products in external cladding applications. These details are referenced throughout this specification.

**9.2 HARDIEPLANK® WEATHERBOARD AND PRIMELINE® WEATHERBOARD DETAILS**

**9.2.1 General**

This section includes details for internal and external corners for HardiePlank weatherboard and PrimeLine weatherboard applications, window details, instructions for cutting around openings and details at eaves.

**9.2.2 Internal and external corners**

**9.2.2.1 Snap on corners**

Fix the inner sections of the two piece aluminium snap on accessory to the framing. Once all weatherboards or planks on both sides are fixed in place, snap the outer part of the accessory into place over the teeth of the first installed section. Refer to Figure 28 and Figure 29.

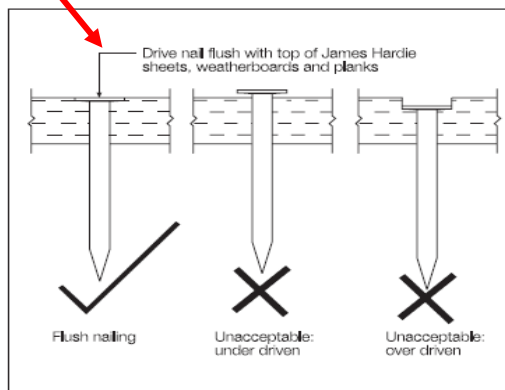
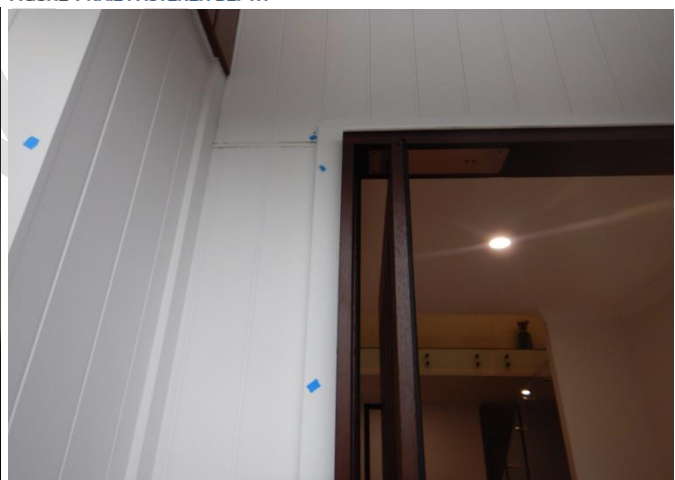


FIGURE 1 NAIL FASTENER DEPTH



9. A number of weep holes are blocked. This needs to be rectified.

All weep holes must be clean and the hole “functional” as per AS4773.2-2010 clause 9.6.2.1 inserted below. **Please note that any damage to the flashings during the removal of the hardened mortar will require considerable reworks as the flashings cannot be breached.**

#### 9.6.2.1 Cavity flashings

Where it is supported on a concrete slab, cavity flashing shall be located at the base of the cavity and at all points where the cavity is interrupted by a structural element, an opening or the like.

A cavity flashing shall be—

- (a) turned up a minimum of 150 mm at the inner frame;
- (b) fixed to the inner frame at 600 mm maximum centres;
- (c) lapped at joints in a straight run by a minimum of 150 mm;
- (d) lapped at corners by the width of the leaf and cavity in accordance with Figure 9.1 or fanned in accordance with Figure 9.2; and
- (e) embedded not less than 25 mm into the outer leaf.

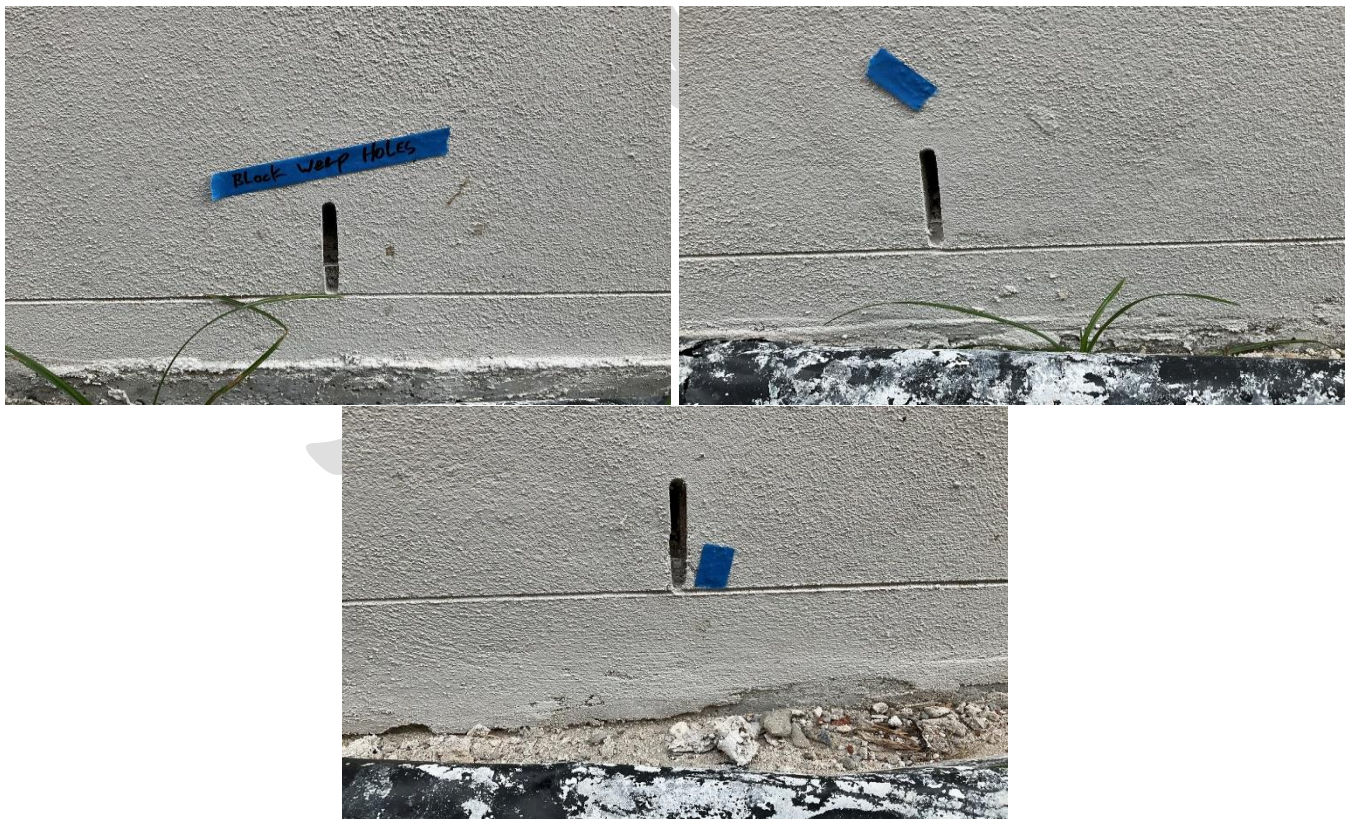
A cavity flashing that is also a DPC shall extend across the full width of the masonry skin. Flashing that protrudes past the face of the wall shall be either cut off or turned down.

Veneer walls shall be drained by weepholes at 1200 mm maximum centres. The raking of perpendicular joints to form weepholes shall extend the full width of masonry (through the wall) including bed joint at the level of the flashing.

Where there is a slab on ground that is Class A or S in accordance with AS 2870 on a sandy or limestone soil, a proprietary polymer emulsion flashing may be used, in accordance with the manufacturer’s instructions.

Where cavity flashings are penetrated, the flashing shall be punched through or cut from the inside of the wall, and be fitted around the penetration and sealed.

In areas where termite management systems are required, all penetrations within the cavity shall be treated in accordance with AS 3660.1.



10. The back alfresco FC sheeting substandard finish, not flush sitting proud this will need rework, not in an appropriate, skilful way or with reasonable care and skill.



11. There are gaps around pipe fittings, these will need to be filled before handover as marked.

**QBCC Standards & Tolerances 8.8 Pipe penetrations through external walls and inside cupboards**

Within the first 12 months after completion of the work, plumbing holes are defective if they are not properly grouted as appropriate, or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.



12. Stormwater drainage is not deep enough this will need reworking before handover to comply with below. We refer the Builder to the insert below:

#### AS 3500. 3.1.2.5

Where stormwater drainage system is installed, it must comply with the following:

- a) The position and manner of discharge of the stormwater drainage system must be to the satisfaction of the appropriate authority.
- b) The stormwater drainage system must be designed so that any overflow during heavy rain periods is prevented from flowing back into the building.

Explanatory information: The manner of discharge of stormwater drainage system includes consideration of discharge points. Some examples of discharge points which may be acceptable to the appropriate authority are: BCA 2010 Volume Two Australian Building Codes Board Page 102 S

#### SITE PREPARATION:

- a) A legal discharge point at the allotment boundary.
- b) On-site catchment systems, such as stormwater tanks.
- c) On-site soil drainage systems, such as soaker wells.
- d) Cover to stormwater drains: the cover to 90mm Class 6 UPVC stormwater drains installed underground must be not less than
  - (i) Under soil-100mm
  - (ii) Under paved or concrete areas-50mm;or
  - (iii) Under areas subject to light vehicle traffic
    - (A) Reinforced concrete -75mm; or
    - (B) Paved -100mm

Explanatory information: Different depths of soil cover (or no cover at all) can be achieved using other types of pipes. The cover specified is measured from the top of the pipe to either the finished ground level or, in case of paved or concrete areas, to the underside of the paving or concrete.



13. Drummy tiles many areas and not enough coverage to tile edge, tiles are not supported. This will need reworking before handover. Not in an appropriate, skilful way or with reasonable care and skill.

As per AS 3958.1, part 5.6.4.2 and clause 5.6.4.3, which outlines the requirement to have a minimum of 90 % of the back of the tile covered in glue.

#### 5.6.4.2 Coverage

Adhesive should be applied to the substrate and then spread using a notched trowel of an appropriate size and shape. Optimum coverage requires pressing of tiles into the adhesive bed and moving them perpendicular to the direction of the adhesive notches.

The contact coverage of the adhesive should be maximized. Minimum contact coverage should be:

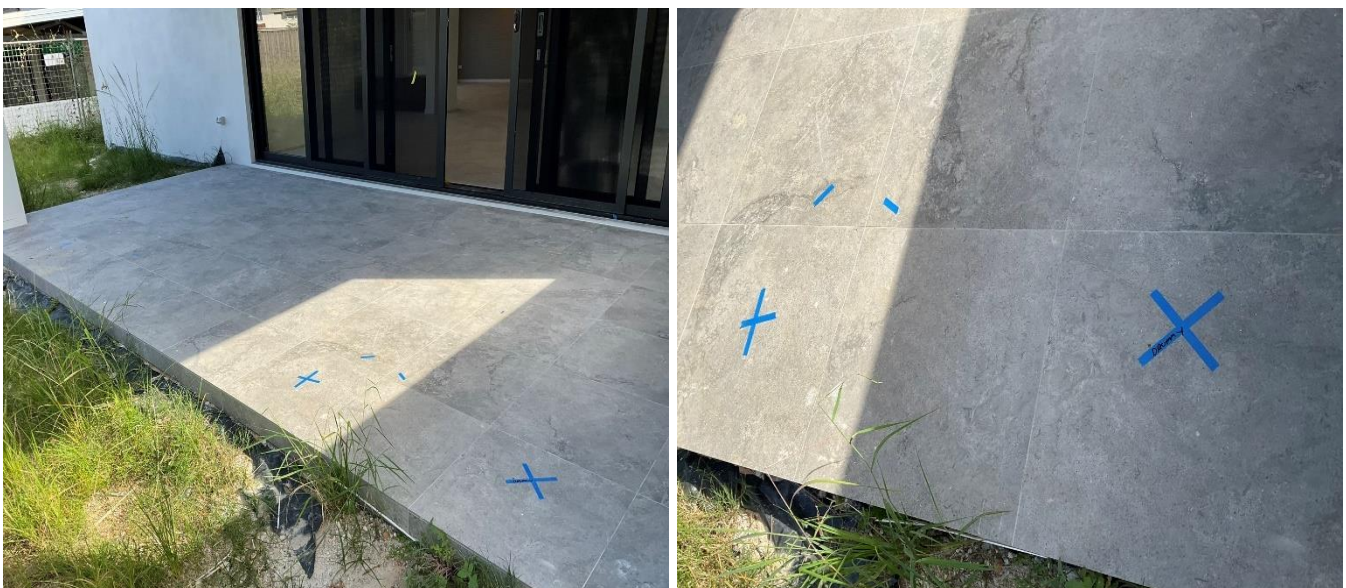
Internal residential walls	65%
Residential floors	80%
Commercial and industrial walls	80%
Commercial and industrial floors	90%
Wet areas	90%
Swimming pools	90%
External walls	90%
Exterior floors, decks and roofs	90%

NOTE: While increased contact coverage will assist in resisting differential movement, and coverages lower than those recommended might facilitate tiling system failures, a failure to achieve the recommended coverage should not automatically be seen as the primary cause of differential movement failures.

#### 5.6.4.3 Distribution

The coverage should be sufficiently distributed to give full support to the tile with particular attention to this support under all corners and edges of the tile.

Expressing contact coverage as a percentage alone presents some problems. For example, 80% coverage on a floor tile is not generally acceptable if a significant portion of the tile (e.g., one edge) is left without any adhesive. To assist, in the absence of the specific instructions from the adhesive manufacturer, Figure 5.6 illustrates a guide for satisfactory contact coverage.





14. Some tiles appear to be chipped. These will need to be re-place before handover.

**QBCC Standards & Tolerances 12.4 Cracked, pitted, chipped, scratched, or loose tiles**

Within 12 months of completion of the work tiles are defective if they are cracked, pitted, chipped, scratched, or loose unless such cracking, pitting, chipping or scratching has been caused by actions or inactions of the owner or others outside of the contractor's control.

Within 6 years and 3 months from the completion of the work, cracked, pitted, chipped, scratched or loose tiles are defective if they allow water penetration into the building, or comprises the health and safety of those who use the building.



### 15. Paint rework required in many areas;

- starved/bare, incomplete areas, need to be done and finished
- external paint substandard with visual able lines to be rectified before handover
- patching/holes, to all be finished and completed before handover
- and some paint defects as marked all to be completed before handover.

#### **QBCC Standards and tolerances 13.2 Surface finish of paintwork**

Within the first 12 months after completion of the work, paintwork is defective if application defects or blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, uniformity of gloss level and other irregularities are visible in the surface from a normal viewing position.







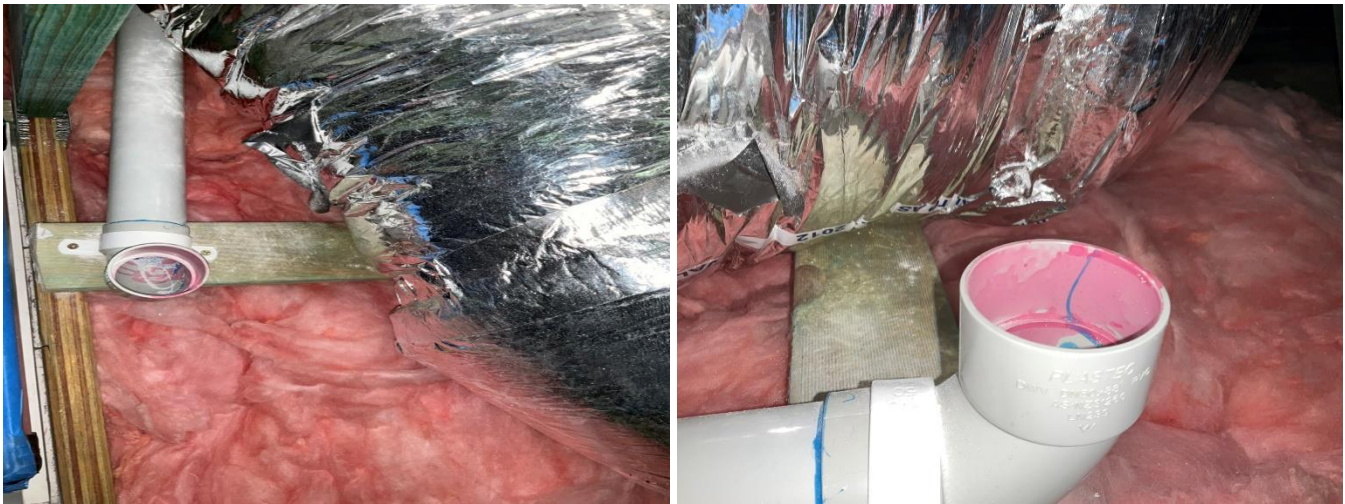
16. At the time of inspection, it was noted that the building has many incomplete works and defects. These incomplete works will need to be finished and defects rectified to reach practical completion listed below:

**Schedule 1B of the Queensland Building and Construction Commission Act 1991 ('QBCC Act').**

Practical completion' means the day when the subject work is completed –

- a) In compliance with the contract, including all plans and specifications for the work and all statutory requirements applying to the work; and
- b) Without any defects or omissions, other than **minor defects or minor omissions that will not unreasonably affect occupation; and**
- c) If the building owner claims there are minor defects or minor omissions- the building contractor gives the building owner a defects document for the minor defects

- Defects to be rectified all to be completed before handover.
- Electrical fittings to be installed all to be completed before handover.
- Gas to be connected, and plate, slab all to be installed all to be completed before handover.
- Render to windowsills all to be finished and completed before handover.
- Garage FC sheeting above PA door opening all to be finished and completed before handover.
- Kitchen cupboard doors to be changed to different colour.
- Kitchen appliances all to be installed all to be completed before handover.
- All gaps to be sealed/silicone all to be finished and completed before handover.
- Tiles in some areas all to be laid all to be completed before handover.
- Doors to be reinstalled study/office and utility cupboard.
- Grout in some areas still to be finished and completed before handover.
- Cabinet shelves all to be installed all to be completed before handover.
- Paint in some areas all to be finished and completed before handover.
- Cleaning all to be done and completed before handover.
- The plumbing stack pipe in the roof void to be finished and completed before handover.



17. At the time of inspection, it was noted that the clients are doing their own listed below:

- Landscaping
- Driveway
- Concrete paths
- Turf
- Fence
- Clothesline
- Letterbox

18. There are some items that have been damage as a consequence of the carrying out of building work, listed below and marked:

All will need to be rectified and present as new at handover, listed below: As per the schedule 1B 67AZN Domestic Building Contracts Act 71H (Non-Structural)

**QBCC Standards & Tolerances 1.5 Responsibility to rectify**

Contractors will be liable to repair any consequential damage caused by, or as a consequence of carrying out building work on a residential building site or to a residential building on an adjacent site.

**71H What is consequential damage**

(1) *Consequential damage* is damage—

- (a) caused by, or as a consequence of, carrying out building work at a building site (the *relevant site*), regardless of any intention, negligence or recklessness of the person carrying out the work; and
- (b) to a residential property at the relevant site, containing the relevant site or adjacent to the relevant site.

- Bent post on retaining wall, damaged to be rectified before handover.
- Alfresco security door has been damaged/loose to be replaced before handover.
- Air-con fins have been damaged to be rectified before handover.
- Ensuite vanity has been chipped, marked, to be rectified before handover.
- Wardrobe cabinetry has been scratched, marked, to be rectified before handover
- Butler's pantry, linen, robes shelving has nail holes this will need to be reworked before handover.



19. Pendant lights have been installed at different heights need to be reworked to be same height. Not in an appropriate, skilful way or with reasonable care and skill.



20. Some doors are not closing/latching properly, binding, sliding doors need adjusting, have poor margins, they will all need re-working before handover as marked. All doors, windows need to be serviced before handover.

**QBCC Standards & Tolerances 9.5 Distortion of doors**

Door leaves are defective if, within 12 months of completion of the works, they twist or bend to the extent that the door will not properly close, latch or lock.

Door leaves are defective if they allow water penetration into the building under weather conditions anticipated by the BCA.

**QBCC Standards & Tolerances 9.7 Operation of windows and doors**

Within the first 12 months after completion of the work, doors and windows are defective if they bind or jam as a result of the contractor's poor workmanship.



21. The garage panel lift door and rear roller door substandard finish, excessive gaps this will need rework, not in an appropriate, skilful way or with reasonable care and skill.

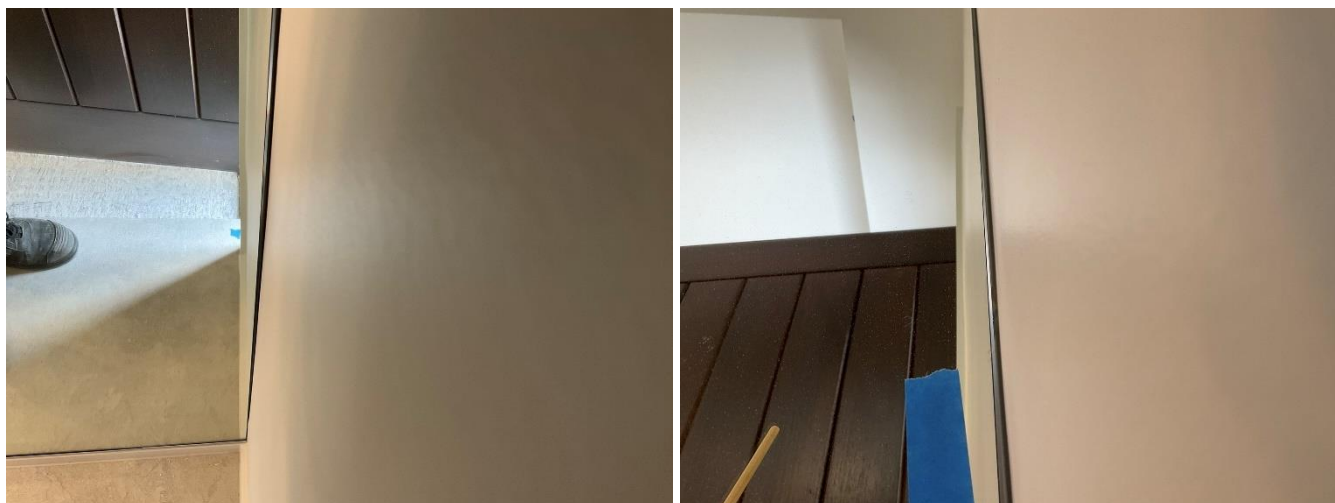


22. Some internal areas have gaps, main wardrobe shelving, mirrors, and shutters all will need to be filled, sealed as marked before handover.

**QBCC Standards and Tolerances 11.1 Gaps associated with internal fixing**

Within the first 12 months after completion of the works and unless documented otherwise, gaps between mouldings or between mouldings and other fixtures, at mitre or butt joints, or at junctions with a wall or other surfaces, are defects if they exceed 1 mm in width and are visible from a normal viewing position.





23. All exposed surfaces in the cabinetry needs to be sealed and many areas the screwheads are to be capped as per AS 4386 before handover.

AS 4386:2018

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### 6.3.2 Surface finishes

All exposed panel surfaces shall be protected to prevent the ingress of moisture.

NOTE: Suitable methods of protection may include the use of decorative panels in accordance with AS/NZS 1859.3 or paint in accordance with the AS 1580 series.

### 6.3.6 Exposed edges

Exposed edges on wood based panels shall be protected from the ingress of moisture. The exposed edges may be covered with melamine, plastic or other coverings which provide equivalent protection to the edges of all carcasses, shelving and doors. Alternatively, edges of doors may be profiled and painted or lacquered.

NOTE: Exposed edge refers to a visible unfinished surface after fitting, including internal surfaces.

NOTE: Where cabinet panels or worktops in high moisture areas are cut, the cut edges should be sealed to prevent the ingress of moisture (see Figure 6).

AS 4386:2018

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## 13 ON COMPLETION OF INSTALLATION

Before handing over the completed assembly, the following shall be carried out:

- (a) Clean all components of dust and debris.
- (b) Test all doors, drawers and hardware for operation and check that alignments match specifications.
- (c) Check for rough edges and sand, or smooth, as necessary.
- (d) Cap or conceal all visible screwheads.
- (e) Fill gap between wall and panel with a paintable gap filler, where cabinets, infill panels, refrigerator panels, worktops and any other finished panels butt to walls.



24. Some cupboard door margins are uneven, not aligned, binding, poor margins this will need to be reworked before handover, as marked.

**QBCC Standards and Tolerances 11.4 Cabinet doors and door fronts**

Within the first 12 months after completion of the works and unless otherwise specified, cabinet door and drawer fronts are defective if they are not aligned, or do not have consistent gaps between doors and between drawers.



25. Kitchen bench not sealed underneath this will need to be rectified before handover.

**QBCC Tolerance & Standards 11.9 Sealing around benches and items installed in benches**

Within the first 12 months after completion of the work and where required, junctions between bench tops and adjoining surfaces are defective if they are not sealed with an agreed or suitable flexible sealant of matching colour. Within the first 12 months after completion of the work, sealing around items such as sinks, hand basins etc., is defective if the joint leaks, or if it is not carried out in accordance with the manufacturer's installation instructions.





26. The ensuite shower niche is holding water, not draining away. It was noted at the time of inspection after testing the shower, the niche soap/holder have tiles that are level and the floor of the niches have back fall to the wall this is preventing the water from draining, this will need to be reworked. We refer the Builder to inserts AS 3740, AS 3958

**3.10 PENETRATIONS**

**3.10.1 Shower areas**

Penetrations for taps, shower nozzles, recessed soap holders and similar fixtures shall be waterproofed by sealing with proprietary flange systems or a sealant. When sealing the tap body to the wall, allowance shall be made for the servicing of tap washers or ceramic disks without damaging the seal.

NOTE: Typical detail for recessed soap holders is shown in Figure 3.4.

For mixer taps, drainage shall be allowed at the base of the cover plate.

Any penetrations of mechanical fixings or fastenings through surface materials shall be waterproofed.

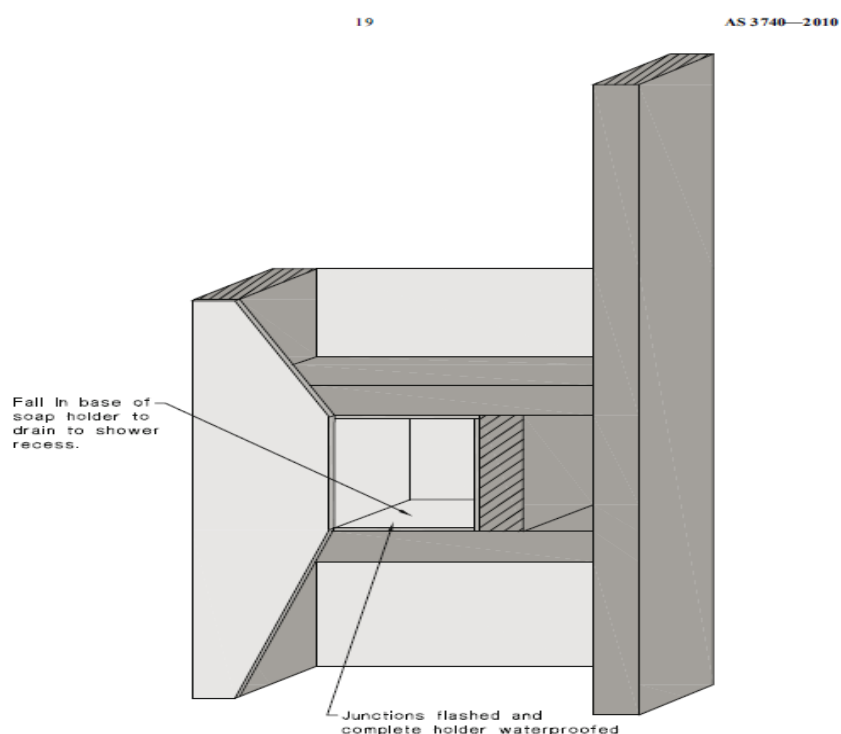
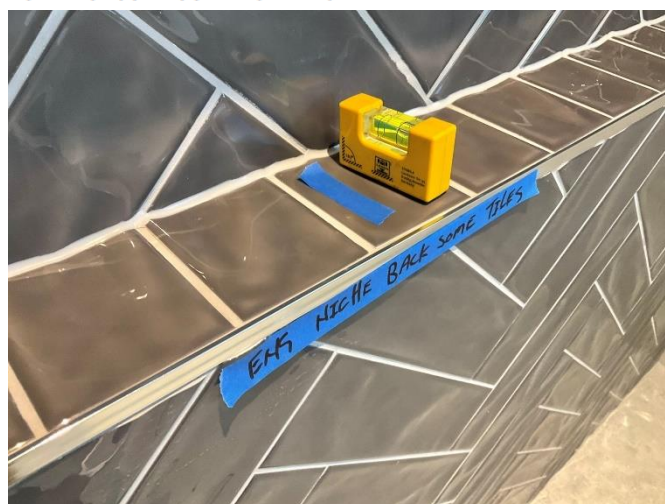
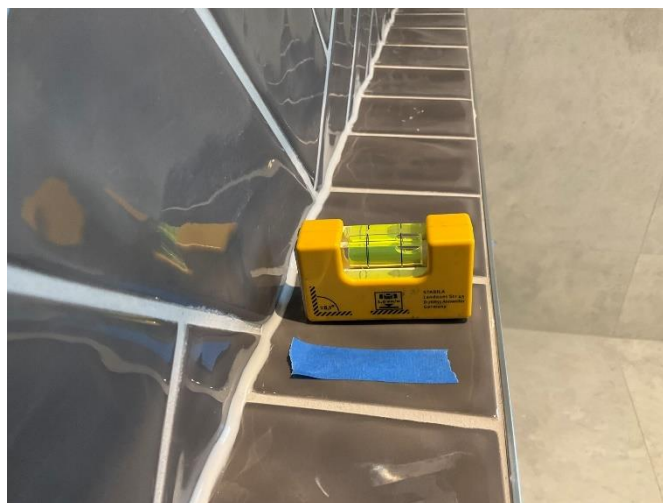
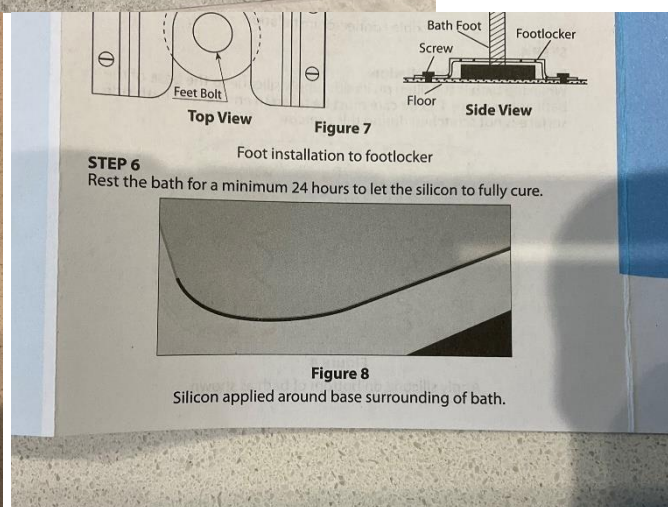


FIGURE 3.4 TYPICAL DETAIL FOR RECESSED SOAP HOLDERS





27. Substandard finish to the bath with not enough silicon has been applied under the bath to hold in place as per below, this will need to be rectified before handover.



28. The Anticon blanket in the roof void in has been installed in manner that doesn't comply with AS 3999 and AS 4200.

The Anticon blanket is over cut around the penetration and the joints are coming apart, loose, not fix or tape into place, this needs to be rework as per insert.

33

AS 3999:2015

- (c) Blanket insulation shall be installed over the roof battens or purlins on a vapour control membrane complying with AS/NZS 4200. The vapour control membranes shall be overlapped at all joins as specified in AS/NZS 4200 and tensioned before fixing to ensure contact between the insulation and the metal roof sheet (see Figure 5.2.4.1.1).

NOTE: A sarking material may be required above the upper surface of the insulation.

AS 4200.2:2017

10

The following requirements apply to the installation of pliable building membranes in roofs:

- (a) The pliable building membrane shall be selected and installed to fulfil the function specified in the design.
- (b) All joints shall be—
  - (i) overlapped not less than 150 mm; or
  - (ii) overlapped not less than 50 mm and taped on the exterior face (see Note 1).
- (c) All end joints shall be positioned over supporting members.
- (d) The pliable building membrane shall be supported by either—
  - (i) draping over the roof battens, trusses or rafters, with a sag at a slope of not less than 2° to facilitate drainage; or
  - (ii) supporting on safety mesh or other continuous support where available.

Ensuring that penetrations through the sarking by services have been taped to provide a weather tight seal.



29. There no (durable notice) installation of termite barriers in the meter box or kitchen cupboard this will need to be install before handover as per the NCC requirements.

### 3.1.4.3 Termite management systems

Where a termite management system is *required* it must—

- (a) be selected appropriate to [Table 3.1.4.1](#); and
- (b) comply with—
  - (i) AS 3660.1; or
  - (ii) have been tested and passed the tests required by Section 5 of AS 3660.3; and
- (c) have a durable notice installed in accordance with [3.1.4.4](#); and
- (d) where a chemical termite management system is used, the chemical must be included on the *appropriate authority's* pesticides register.

#### Explanatory information:

[3.1.4.3\(b\)\(ii\)](#) provides the option of having a chemical termite management system tested to AS 3660.3. In order for the test results to remain valid, the system would then have to be installed as tested.

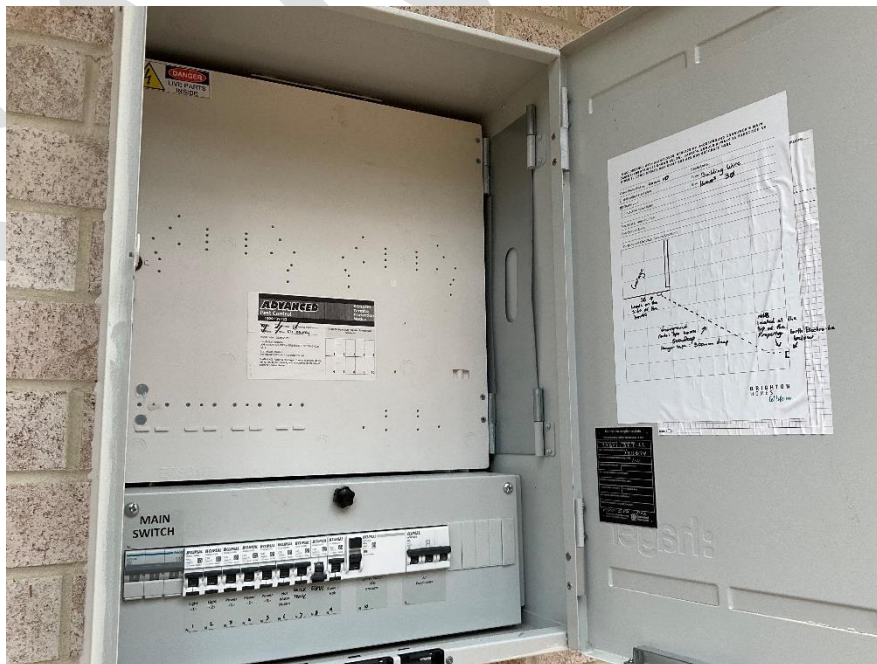
### 3.1.4.4 Durable notice

A durable notice must be permanently fixed to the building in a prominent location, such as in a meter box or the like, indicating—

- (a) the termite management system used; and
- (b) the date of installation of the system; and
- (c) where a chemical is used, its life expectancy as listed on the *appropriate authority's* register label; and
- (d) the installer's or manufacturer's recommendations for the scope and frequency of future inspections of termite activity.

A durable notice must be fixed to the building in a prominent location advising the building occupants that the system should be inspected and maintained.

The notice should be clearly written, on a material that will not deteriorate or fade over time and be located in or near the meter box or similar location so that it can be easily seen and read by future owners of the building. Additional information may be included if desired by the person placing the notice.



30. General cleaning required, in many areas before handover.

- There are areas with excessive over-painting, stains/mortar smears.
- Builders rubbish to be removed from site before handover.
- Gutters/facia to be cleaned off before handover.
- Doors, windows, tracks, hardware all need to be cleaned and service before handover.
- Marks on blinds to be cleaned off or replaced.

Not in an appropriate, skilful way or with reasonable care and skill.

Owners are entitled to expect that the building site and works are clean and tidy on completion. Building sites are defective if, upon handover, they are not clear of building debris. Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned and shelving, drawers and cupboards ready for use.

**QBCC Standards and Tolerances 4.12 Cleaning, mortar smears and stains**

Within the first 12 months from completion of the work, stains, mortar smears and damage caused by cleaning are defects if they are visible from a normal viewing position.

**QBCC Standards and tolerances 13.2 Surface finish of paintwork**

Within the first 12 months after completion of the work, excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges is a defect.



## Conclusion

In conclusion, following the inspection of surface work in the readily accessible areas of the property the building is need of rectification to bring it up to a minimum standard for new construction and has **Not** reached Practical Completion Stage. Our clients have requested that we place in writing a formal request that all items in this report are rectified. We refer the builder to the builder's own contract with our client which calls for the builder to act on ALL KNOWN DEFECTS. All items in this report are therefore brought to the builder's attention and are therefore known to the builder. We would suggest that the builder rectify all defects found so that it complies with the minimums set out in the BCA, the Australian Standard and all other relevant requirements. If the builder feels that we are in error, we request that they justify with a counter reference that would support that position and show cause why they do not have to rectify the defects found.

## Important note

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

## Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant for ALLINSPECT in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbook Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants'.

Authorised Signatory checked by: *David Tacon*

Name: David Tacon Date of Issue: 26 March, 2022

## Accessibility

### Areas inspected

The inspection covered the Readily Accessible Areas of the property

### Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects. Areas which are not normally accessible, were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided and some defects will only become apparent once you moved in, they are not missed they come under the Builders Warranty. Roof, and sometimes not all areas will be inspected on the day due to been unfinished, so can't be tested or obstructions/limitations, trades still working on the building. Please be aware we try to record all defects on the day but there are limitations due to incompleted items and obstructions, and you will still find some when you move in, that may or may not come under the Builders Warranty:

### Obstructions

The following obstructions may conceal defects:

Built in furniture, wall linings/coverings, floor linings/coverings, ceiling linings/coverings.

Landscaping, Insultaion, sarking, concrete paths/coverings, pipes, builders waste.

### Inaccessible areas

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Please be aware that when there is defects and incomplete areas the inspector cannot do a full inspection. It is a visual only inspection we do not measure everywhere and we do not go on new roofs as they are slip hazard. They are inspected from the ground only at a normal viewing point. We don't always go into the roof void as sometimes the Builder Some defects will not be apparent until you move in and start using the property or until a weather event but may or may not be covered under the Builders Warranty. We would suggest that you contact the Builder if more defects are found after moving in straight away.